



AGENDA **CITY COUNCIL MEETING**

January 2, 2025 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

Notice is hereby given that a meeting of the Lucas City Council will be held on Thursday, January 2, 2025, beginning at 6:30pm at Lucas City Hall, 665 Country Club Road, Lucas, Texas 75002-7651, at which time the following agenda will be discussed. As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any item on the agenda at any time during the meeting. Pursuant to Texas Government Code 551.127, one or more members of the governing body may appear via videoconference call. The presiding officer and a quorum of the City Council will be physically present at this meeting.

If you would like to watch the meeting live, you may go to the City's live streaming link at <https://www.lucastexas.us/departments/public-meetings/>.

How to Provide Input at a Meeting:

Speak In Person: Request to Speak forms will be available at the meeting. Please fill out the form and give to the City Secretary prior to the start of the meeting. This form will also allow a place for comments.

Submit Written Comments: If you are unable to attend a meeting and would like to submit written comments regarding a specific agenda item, email City Secretary Toshia Kimball at tkimball@lucastexas.us by no later than 3:30 pm the day of the meeting. The email must contain the person's name, address, phone number, and the agenda item(s) for which comments will be made. Any requests received after 3:30 pm will not be included at the meeting.

Call to Order

- Roll Call
- Determination of Quorum
- Reminder to turn off or silence cell phones
- Pledge of Allegiance

Citizen Input

1. Citizen Input.

Community Interest

Pursuant to Section 551.0415 of the Texas Government Code, the City Council may report on the following items: 1) expression of thanks, congratulations or condolences; 2) information about holiday schedules; 3) recognition of individuals; 4) reminders about upcoming City Council events; 5) information about community events; and 6) announcements involving imminent threat to public health and safety.

2. Items of Community Interest.

Consent Agenda

All items listed under the consent agenda are considered routine and are recommended to the City Council for a single vote approval. If discussion is desired, an item may be removed from the consent agenda for a separate vote.

3. Consent Agenda:
 - A. Approval of minutes of the December 1, 2024, Special City Council meeting.
 - B. Approval of minutes of the December 2, 2024, Special City Council meeting.
 - C. Approval of minutes of the December 5, 2024, City Council meeting.
 - D. Approval of Ordinance #2025-01-01012 calling for May 3, 2025, General Election.
 - E. Approval of Resolution R#2025-01-00564 designating the official newspaper of the City of Lucas for 2025 beginning January 2, 2025, through December 31, 2025.

Public Hearing

4. Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 41.9954 acres (1,829,317 square feet) in the A0017 James Anderson Survey, Sheet 2, Tract 27 and Tract 29, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.
 - A. Presentation by Development Services Director Joe Hilbourn
 - B. Conduct Public Hearing
 - C. Take action on the request

(Presenter: Development Services Director Joe Hilbourn)

Regular Agenda

5. Conduct candidate interviews and consider an appointment to fill the vacant position on the Parks and Open Space Board. **(City Council)**
6. Consider amending FY 24-25 budget by appropriating \$110,000 from the Water Fund Reserves to account 21-8210-490-130 and authorize the City Manager to negotiate and enter into an agreement with Axis Construction, LP to replace the stem in the McGarity Elevated Tank. **(Presenter: Development Services Director Joe Hilbourn)**

Executive Session

7. Executive Session: An Executive Session is not scheduled for this meeting.

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.
8. Reconvene from Executive Session and take any action necessary as a result of Executive Session.
9. Adjournment.

Certification

I do hereby certify that the above notice was posted in accordance with the Texas Open Meetings Act on the bulletin board at Lucas City Hall, 665 Country Club Road, Lucas, TX 75002 and on the City's website at www.lucastexas.us on or before 5:00 p.m. on December 27, 2024.

Toshia Kimball, City Secretary

In compliance with the American with Disabilities Act, the City of Lucas will provide for reasonable accommodations for persons attending public meetings at City Hall. Requests for accommodations or interpretive services should be directed to City Secretary Toshia Kimball at 972.912.1211 or by email at tkimball@lucastexas.us at least 48 hours prior to the meeting.



City of Lucas

City Council Agenda Request

January 2, 2025

Item No. 01

Requester: Mayor Dusty Kuykendall

Agenda Item Request

Citizen Input.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA



City of Lucas

City Council Agenda Request

January 2, 2025

Item No. 02

Requester: Mayor Dusty Kuykendall

Agenda Item Request

Items of Community Interest:

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA



City of Lucas

City Council Agenda Request

January 2, 2025

Requester: City Secretary Toshia Kimball

Agenda Item Request

Consent Agenda:

- A. Approval of minutes of the December 1, 2024, Special City Council meeting.
- B. Approval of minutes of the December 2, 2024, Special City Council meeting.
- C. Approval of minutes of the December 5, 2024, City Council meeting.
- D. Consider adopting Ordinance #2025-01-01012 ordering a general election to be held on May 3, 2025, for the purpose of electing two City Councilmembers for respective Seats No. 5 and Seat No. 6; designating location of polling place; ordering notice of election to be given as prescribed by law in connection with such election; authorizing election of joint election agreement; and providing for an effective date.
- E. Approval of Resolution R #2025-01-00564 designating the official newspaper of the City of Lucas for 2025 beginning January 2, 2025, through December 31, 2025.

Background Information

N/A

Attachments/Supporting Documentation

- 1. Minutes of the December 1, 2024, Special City Council meeting
- 2. Minutes of the December 2, 2024, Special City Council meeting.
- 3. Minutes of the December 5, 2024, City Council meeting.
- 4. Ordinance #2025-01-01012 Calling May 3, 2025 General Election
- 5. Resolution #2025-01-00564 designating the official newspaper of the City of Lucas

Budget/Financial Impact

N/A

Recommendation

City staff recommends approval of the Consent Agenda.

Motion

I make a motion to approve the Consent Agenda as presented.



MINUTES

CITY COUNCIL SPECIAL MEETING

December 1, 2024 | 2:00 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

City Councilmembers Present:

Mayor Dusty Kuykendall
Mayor Pro Tem Debbie Fisher
Councilmember Chris Bierman
Councilmember Phil Lawrence
Councilmember Tim Johnson
Councilmember Neil Peterson

City Staff Present:

City Manager John Whitsell
Development Services Director Joe Hilbourn
Public Works Supervisor Jeremy Bogle

City Councilmembers Absent:

Councilmember Brian Stubblefield

The Special City Council meeting was called to order at 2:00 pm.

Citizen Input

1. Citizen Input

There was no citizen input at this meeting.

Regular Agenda

2. Council will convene a workshop for the purpose of touring city facilities to evaluate current and future needs. No action to be taken.

City Council toured city facilities to evaluate current and future needs.

MOTION: No motion is required on this item.

Executive Session

3. Executive Session: There was no Executive Session during this meeting.

4. Adjournment.

MOTION: A motion was made by Councilmember Lawrence, seconded by Councilmember Peterson, to adjourn the meeting at 3:53 pm. The motion passed unanimously by a 6 to 0 vote.

APPROVED:

ATTEST:

Mayor Dusty Kuykendall

Toshia Kimball, City Secretary



MINUTES

CITY COUNCIL SPECIAL MEETING

December 2, 2024 | 8:30 AM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

City Councilmembers Present:

Mayor Dusty Kuykendall
Mayor Pro Tem Debbie Fisher
Councilmember Chris Bierman
Councilmember Brian Stubblefield
Councilmember Tim Johnson
Councilmember Neil Peterson

City Councilmembers Absent:

Councilmember Phil Lawrence

City Staff Present:

City Manager John Whitsell
City Secretary Toshia Kimball
Development Services Director Joe Hilbourn
CIP Manager Patrick Hubbard
Public Works Supervisor Jeremy Bogle
Finance Director Liz Exum
HR Manager Alana Cohen
Fire Chief Ted Stephens
Planning Coordinator Donna Bradshaw
Executive Admin Assistant Morgan Kowaleski

The Special City Council meeting was called to order at 8:30 am.

Citizen Input**1. Citizen Input**

There was no citizen input at this meeting.

Regular Agenda

- 2. Council will convene a workshop for the purpose of Strategic Planning including SWOT Analysis, Review of Master Thoroughfare Plan, review of Capital Improvements Plan, formulation of 3-5 Year Goals, and Vision at Buildout. No action to be taken.**

City Council convened a workshop for the purpose of Strategic Planning including SWOT Analysis, Review of Master Thoroughfare Plan, review of Capital Improvements Plan, formulation of 3-5 Year Goals, and Vision at Buildout.

MOTION: No motion is required on this item.

Executive Session

- 3. Executive Session: There was no Executive Session during this meeting.**

- 4. Adjournment.**

MOTION: A motion was made by Councilmember Johnson, seconded by Mayor Pro Tem Fisher, to adjourn the meeting at 4:02 pm. The motion passed unanimously by a 6 to 0 vote.

APPROVED:

ATTEST:

Mayor Dusty Kuykendall

Toshia Kimball, City Secretary



MINUTES

CITY COUNCIL REGULAR MEETING

December 5, 2024 | 6:30 PM

Council Chambers

City Hall | 665 Country Club Road, Lucas, Texas

City Councilmembers Present:

Mayor Dusty Kuykendall
Mayor Pro Tem Debbie Fisher
Councilmember Chris Bierman
Councilmember Tim Johnson
Councilmember Phil Lawrence
Councilmember Brian Stubblefield
Councilmember Neil Peterson

City Staff Present:

City Manager John Whitsell
City Secretary Toshia Kimball
Development Services Director Joe Hilbourn
CIP Manager Patrick Hubbard
Deputy Robert O'Rourke

The regular City Council meeting was called to order at 6:30 pm.

Citizen Input

1. Citizen Input

There was no citizen input at this meeting.

Community Interest

2. Items of Community Interest

Mayor Kuykendall gave items of community interest including:

- Country Christmas
- Holiday Donation Drive
- Service Tree Nominations – Due by December 27, 2024

Mayor Kuykendall acknowledged Finance Director Liz Exum on behalf of the City of Lucas Finance Department for receiving the 2023 Certificate of Achievement for Excellence in Financial Reporting Award from the Government Finance Officers Association.

Consent Agenda

3. Consent Agenda:

- A. Approval of the minutes of the November 7, 2024, City Council meeting.**
- B. Approval of the City of Lucas Quarterly Investment Report ended September 2024.**

MOTION: A motion was made by Councilmember Johnson, seconded by Mayor Pro Tem Fisher to approve the Consent Agenda Item as presented. The motion passed unanimously by a 7 to 0 vote.

Public Hearing

4. **Conduct a public hearing and consider amendments to an existing SUP at Lucas Christian academy to amend the school's master plan at 505 West Lucas Road Lot 1, Block A of Lucas Christian Church Addition being all of a 16 acre tract of land, is asking to incorporate and adjacent tract ABS A0538 JAS LOVELADY SURVEY, TRACT 21, 22.679 ACRES, and a new master plan.**

- A. **Presentation by Development Services Director Joe Hilbourn**
- B. **Conduct Public Hearing**
- C. **Take action on the request**

Development Services Director Joe Hilbourn provided a presentation.

Gavin Newman from GFF design and Mary Salmonsens from Kimley-Horn provided a presentation.

Mayor Kuykendall opened the public hearing at 7:34 pm.

Janean McLaughlin, 3 Skyview Drive, Lucas, Texas, 75002, in opposition.

Suzanne Sliva, 1 Moonlight Trail, Lucas, Texas, 75002, in opposition.

Connie Marshall, 305 Forestview Drive, Lucas, Texas, 75002, in opposition.

Joseph Walker, 2505 Peachtree Lane, McKinney, Texas, 75072, in favor.

Gavin Newman, 1142 N Edgefield, Dallas, Texas, 75208, in favor.

Jason and Jennifer Mohler, 729 Huffines Boulevard, Lucas, Texas, 75098, in favor.

Tina Walenciar, 1200 Honeysuckle Lane, Lucas, Texas, 75002, in favor.

Laura Cadenhead, 720 Belvedere Park Lane, Lucas, Texas, 75002, in favor.

Cynthia Williamson, 199 Jordan Court, Lucas, Texas, 75002, in favor.

Solange Patterson, 10 Santa Fe Trail, Lucas, Texas, 75002, in favor.

Norabel Ruckel, 545 Stinson Road, Lucas, Texas, 75002, in opposition.

Michael Walenciak, 1200 Honeysuckle, Lucas, Texas, 75002, in favor.

Leon Luckey, 1065 Wendy Lane, Lucas, Texas, 75002, in opposition.

Richard Schertz, 1111 Snider Lane, Lucas, Texas, 75002, in opposition.

David Osburn, 13 Manor Lane, Lucas, Texas, 75002, in favor.

Stephanie Schertz, 1111 Snider Lane, Lucas, Texas, 75002, in opposition.

Steve Gunn, 5 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Tamara Gunn, 5 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Renee Phillips, 1325 Stinson Road, Lucas, Texas, 75002, in opposition.

Kathleen Peele, 17 Edgefield Lane, Lucas, Texas, 75002, in opposition.

John Riggins, 2 Earls Court, Lucas, Texas, 75002, in favor.

Judith Anderson, 425 Stinson Road, Lucas, Texas, 75002, in opposition.

Jaclynn Canthorn, 1622 Snider Lane, Lucas, Texas, 75002, in favor.

Sarah Hurzeler, 211 Lee Drive, Lucas, Texas, 75002, in opposition.

Samantha and Jason Parson, 550 Stinson Road, Lucas, Texas, 75002, in opposition.

Lindsay Hickland, 116 Rockland Trail, Lucas, Texas, 75002, in support.

Jude Hickland, 116 Rockland Trail, Lucas, Texas, 75002, in support.

Matt Kirby, 221 Natalie, Lucas, Texas, 75002, in support.

Jody Bates, 14 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Scott Bates, 14 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Jim Hurzeler, 211 Lee Drive, Lucas, Texas, 75002, in opposition.

Jenna Stewart, 945 Scarlett Drive, Lucas, Texas, 75002, in opposition.

Mary Fuentes, 7651 East Parker, Lucas, Texas, 75002, in opposition.

Shawn Wilson, 760 Stinson Road, Lucas, Texas, 75002, in opposition.

Wick Hefner, 2 Skyview Drive, Lucas, Texas, 75002, in opposition.

Sean Watts, 1115 Snider, Lucas, Texas, 75002, in favor.

Ruben Lopez, 730 Inverness, Lucas, Texas, 75002, in favor.

Jeff Tissing, 1190 Stinson Road, Lucas, Texas, 75002, in opposition.

Suzanne Sliva, 1 Moonlight Trail, Lucas, Texas, 75002, in opposition.

Kyle Harger, 312 Lago Grande Trail, Lucas, Texas, 75002, in opposition.

Caleb Coker, 1480 East Lucas Road, Lucas, Texas, 75002, in favor.

Harold Daniel Wright, 425 Stinson Road, Lucas, Texas, 75002, in opposition.

Kimberly Berbel, 1606 Snider Lane, Lucas, Texas, 75002, in favor.

Laura McCarthy, 12 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Dr. Jennie Tissing, 1190 Stinson Road, Lucas, Texas, 75002, in opposition.

Matthew Jacob, 301 La Cantera Drive, Lucas, Texas, 75002, in opposition.

Debbie Vanderburg, 1475 Stinson Road, Lucas, Texas, 75002, in opposition.

Richard Phillips, 1325 Stinson Road, Lucas, Texas, 75002, in opposition.

Cindy Thompson, 185 Stinson Road, Lucas, Texas, 75002, in opposition.

Magda Grunin, 102 McMillen Road, Lucas, Texas, 75002, in opposition.

Steven Grunin, 102 McMillen Road, Lucas, Texas, 75002, in opposition.

Jennifer Coker, 1480 East Lucas Road, Lucas, Texas, 75002, in favor.

Via email response:

Elizabeth Fagan, 760 Stinson Road, Lucas, Texas, 75002, in opposition.

Billie Sandel, 500 Holly Lane, Lucas, Texas, 75002, in opposition.

Lindsay Hickland, 116 Rockland Trail, Lucas, Texas, 75002, in favor.

Aubrey Stock, 1615 Lynn Lane, Lucas, Texas, 75002, requested more information.

Sonia Duggan and Chad Engbrock, 242 Estelle Lane, Lucas, Texas, 75002, in opposition.

Bridget Adell, 1235 Scarlett Drive, Lucas, Texas, 75002, in opposition.

Frank Hise, 9 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Judy Hise, 9 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Amy Pacio, 485 Stinson Road, Lucas, Texas, 75002, in opposition.

Will Pacio, 485 Stinson Road, Lucas, Texas, 75002, in opposition.

David Bassier, 19 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Matthew Smith, 405 Stinson Road, Lucas, Texas, 75002, in opposition.

Jeff Sparkman, 415 W. Lucas Road, Lucas, Texas, 75002, in favor.

Steven Abbott, 15 White Rock Trail, Lucas, Texas, 75002, in favor.

Kris Lamberth, 1521 Ford Lane, Lucas, Texas, 75002, in favor.

Samuel Johny, 990 Peppy San Drive, Lucas, Texas, 75002, in favor.

Robynn Lamberth, 1521 Ford Lane, Lucas, Texas, 75002, in favor.

Laura Henley, 300 Arthur Court, Lucas, Texas, 75002, in favor.

Tara Schwertner, 188 Alexander Court, Lucas, Texas, 75002, in favor.

Katy Watts, 701 Inverness Lane, Lucas, Texas, 75002, in favor.

Taylor Vogel, 1521 Ford Lane, Lucas, Texas, 75002, in favor.

Cherice Stoltzfus, 980 Moon Deck Trail, Lucas, Texas, 75002, in favor.

Kristina Branch, 2717 Timber Trail, Lucas, Texas, 75002, in favor.

Morgan Gonzalez, 20 Hillcrest Circle, Lucas, Texas, 75002, in favor.

Laura McCarthy, 12 Prado Verde Drive, Lucas, Texas, 75002, in opposition.

Sheila Gillus, 1611 Brae Burn Way, Lucas, Texas, 75002, in favor.

Jake Feckley, 10 Hillcrest Drive, Lucas, Texas, 75002, in favor.

Laura Cadenhead, 720 Belvedere Park Lane, Lucas, Texas, 75002, in favor.

Tonya Feckley, 10 Hillcrest, Lucas, Texas, 75002, in favor.

Andy and Amie Vawter, 1730 Heifner Road, Lucas, Texas, 75002, in favor.

Illene Mougel, 651 Stinson Road, Lucas, Texas, 75002, in opposition.

Melanie Palacios and Gerardo Dosal, 520 Stinson Road, Lucas, Texas, 75002, in opposition.

Sonia Duggan and Chad Engbrock, 242 Estelle Lane, Lucas, Texas, 75002, in opposition.

Brenda Rizos, 1200 Winningkoff, Lucas, Texas, 75002, in opposition.

Kristen Watts, 1115 Snider Lane, Lucas, Texas, 75002, in favor.

Jude Hickland, 116 Rockland Trail, Lucas, Texas, 75002, in favor.

Debbie Vanderburg, 1475 Stinson Road, Lucas, Texas, 75002, in opposition.

Jennie Tissing, 1190 Stinson Road, Lucas, Texas, 75002, in opposition.

Kendal Simpson, 455 Blondy Jhune Trail, Lucas, Texas, 75002, in opposition.

Wilfred Pacio, 485 Stinson Road, Lucas, Texas, 75002, in opposition.

Sarah Hurzeler, 211 Lee Drive, Luca, Texas, 75002, in opposition.

John and Ginger Riggins, 2 Earls Court, Lucas, Texas, 75002, in favor.

Tom Gilmore, 1225 Honeysuckle Lane, Lucas, Texas, 75002, in favor.

Kirk Woodburn, 350 Shiloh Drive, Lucas, Texas, 75002, in favor.

Matthew Smith, 405 Stinson Road, Lucas, Texas, 75002, in opposition.

Mayor Kuykendall closed the public hearing at 8:57 pm.

MOTION: A motion was made by Councilmember Johnson, seconded by Councilmember Lawrence to deny amendments to an existing SUP at Lucas Christian academy to amend the school's master plan at 505 West Lucas Road Lot 1, Block A of Lucas Christian Church Addition being all of a 16 acre tract of land, is asking to incorporate an adjacent tract ABS A0538 JAS LOVELADY SURVEY, TRACT 21, 22.679 ACRES, and a new master plan. The motion passed unanimously by a 7 to 0 vote.

5. Conduct a public hearing and consider amendments to the City of Lucas Code of Ordinances, Chapter 14 titled "Zoning", 14.03.472 titles "Building Regulations", (i) Impervious coverage and Article 14.04 titled "Supplementary Regulations", Division 8 titled "Accessory Buildings, Structures and Uses".

- A. Presentation by Development Services Director Joe Hilbourn**
- B. Conduct Public Hearing**
- C. Take action on the request**

Development Services Director Joe Hilbourn presented.

Mayor Dusty Kuykendall opened the public hearing at 9:21 pm.

Mayor Dusty Kuykendall closed the public hearing at 9:22 pm.

MOTION: A motion was made by Councilmember Bierman, seconded by Mayor Kuykendall to approve amendments to the City of Lucas Code of Ordinances, Chapter 14 titled "Zoning", 14.03.472 titles "Building Regulations", (i) Impervious coverage and Article 14.04 titled "Supplementary Regulations", Division 8 titled "Accessory Buildings, Structures and Uses". The motion passed unanimously by a 7 to 0 vote.

Regular Agenda

- 6. Consider authorizing the City Manager to do the following:**
- A. Enter into a state grant agreement with the Texas Parks and Wildlife Department for the Forest Creek Park project, providing funding for the replacement of two playgrounds and a swing set at Forest Creek Park, through the Local Parks Grant Program and to appropriate funding in the amount of \$236,326 from Unrestricted General Fund Reserves to Account 21-8211-502 for said project.**
 - B. Negotiate and enter into an agreement with Playground Boss for the installation of playground equipment at Forest Creek Park as outlined in the included quote and in the amount of \$154,039 using funds from Account 21-8211-502.**

CIP Manager Patrick Hubbard provided a presentation.

MOTION: A motion was made by Mayor Kuykendall, seconded by Councilmember Lawrence to approve authorizing the City Manager to do the following:

- A.** Enter into a state grant agreement with the Texas Parks and Wildlife Department for the Forest Creek Park project, providing funding for the replacement of two playgrounds and a swing set at Forest Creek Park, through the Local Parks Grant Program and to appropriate funding in the amount of \$236,326 from Unrestricted General Fund Reserves to Account 21-8211-502 for said project.
- B.** Negotiate and enter into an agreement with Playground Boss for the installation of playground equipment at Forest Creek Park as outlined in the included quote and in the amount of \$154,039 using funds from Account 21-8211-502 set aside for set project.

The motion passed unanimously by a 7 to 0 vote.

- 7. Consider authorizing the City Manager to negotiate and enter into an agreement with Curtco Incorporated to complete asphalt crack sealing throughout the City of Lucas in an amount not to exceed \$100,000 using funds from Account 11-8029-301, Improvement Roads.**

CIP Manager Patrick Hubbard presented.

MOTION: A motion was made by Councilmember Johnson, seconded by Councilmember Stubblefield to approve authorizing the City Manager to negotiate and enter into an agreement with Curtco Incorporated to complete asphalt crack sealing throughout the City of Lucas in an amount not to exceed \$100,000 using funds from Account 11-8209-301, Improvement Roads. The motion passed unanimously by a 7 to 0 vote.

- 8. Consider authorizing the Mayor to execute the Interlocal Cooperation Agreement for Automatic Fire and EMS Assistance with the City of Wylie, Texas.**

Fire Chief Stephens presented.

MOTION: A motion was made by Councilmember Lawrence, seconded by Mayor Pro Tem Fisher to approve authorizing the Mayor to execute the Wylie and Lucas Automatic and Mutual Aid ILA-2024. The motion passed unanimously by a 7 to 0 vote.

- 9. Consider Parks and Open Space Board appointments to serve a two-year term beginning on January 1, 2025, and expiring on December 31, 2026, for the following:**

- A. Parks and Open Space Board (also serving as the Lucas Farmers Market Committee)**

MOTION: A motion was made by Mayor Pro Tem Fisher, seconded by Councilmember Lawrence to reappoint John Elliott, Christel Parish, and Joan Phillips and to appoint Angela Martinez as a Member. The motion passed unanimously by a 7 to 0 vote.

Executive Session

- 10. Executive Session:**

The City Council will convene into Executive Session pursuant to Section 551.074(a)(1) of the Texas Government Code, Personnel Matters, to deliberate the appointment of members to the Planning and Zoning Commission and the Board of Adjustments.

City Council convened into Executive Session at 10:01 pm.

11. Reconvene from Executive Session and take any action necessary as a result of the Executive Session.

City Council reconvened from Executive Session at 10:18 pm.

MOTION: A motion was made by Mayor Pro Tem Fisher, seconded by Councilmember Stubblefield to:

Board of Adjustment:

Reappointments:

Sean Watts - Member

Charles Corporon - Member

Paula Walker – Alternate Member 1

Removal:

Helene Langer – Alternate Member 2

Appointment:

Richard Schertz – Alternate Member 2

The motion passed unanimously by at 6 to 0 vote.

MOTION: A motion was made by Mayor Pro Tem Fisher, seconded by Mayor Kuykendall to:

Planning and Zoning Commission:

Reappointment:

Tommy Tolson - Commissioner

Joe Williams - Commissioner

Frank Hise - Commissioner

Updates:

John Awezec – Commissioner

Brian Dale – Alternate Commissioner 1

Appointments:

Jonathan Underhill – Alternate Commissioner 2

The motion passed unanimously by a 6 to 0 vote.

12. Adjournment.

MOTION: A motion was made by Councilmember Johnson, seconded by Councilmember Stubblefield, to adjourn the meeting at 10:19 pm. The motion passed unanimously by a 6 to 0 vote.

APPROVED:

ATTEST:

Mayor Dusty Kuykendall

Toshia Kimball, City Secretary



ORDINANCE NO. #2025-01-01012
[Calling for May 3, 2025 General Election]

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ORDERING A GENERAL ELECTION TO BE HELD ON MAY 3, 2025, FOR THE PURPOSE OF ELECTING TWO (2) CITY COUNCILMEMBERS FOR RESPECTIVE SEATS NO. 5 AND SEAT NO. 6; DESIGNATING LOCATION OF POLLING PLACE; ORDERING NOTICE OF ELECTION TO BE GIVEN AS PRESCRIBED BY LAW IN CONNECTION WITH SUCH ELECTION; AUTHORIZING EXECUTION OF JOINT ELECTION AGREEMENT; AND PROVIDING FOR AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. A General election is hereby ordered for May 3, 2025, for the purpose of electing two (2) Lucas City Councilmembers for respective Seats No. 5 and Seat No. 6, each such term being for a period of three (3) years. The filing period for the General Election shall begin January 15, 2025, and end on February 14, 2025, at 5:00 p.m., in accordance with State law.

SECTION 2. Pursuant to the Joint Election Agreement, the Elections Administrator of Collin County shall serve as Elections Administrator for the election. Presiding Election Judges and Alternate Presiding Election Judges appointed to serve the authorized polling places and the early voting clerk and deputy early voting clerks shall be those election officials furnished by the Elections Administrator from the list of proposed election judges as required in the Elections Services Contract. The City Manager and City Secretary are hereby authorized to execute an Elections Services Contract with the Collin County Elections Department for the General Election on May 3, 2025. The City Secretary shall have further authority to approve any minor modifications as may be necessary in the best interest of the City. A voting system or systems meeting the standards and requirements of the Texas Election Code, as amended, is hereby adopted and approved for early voting by personal appearance and by mail and for election day voting.

SECTION 3. Notice of the General Election shall be posted on the bulletin board used to post notice of the City Council meetings and be published in a newspaper of general circulation in the City. That said Notice must be published at least once, not earlier than the 30th day nor later than the 10th day, before Election Day as provided in Section 4.003(a)(1) of the Texas Election Code. A copy of the published Notice that contains the name of the newspaper and the date of publication shall be retained as a record of such notice, and the person posting the Notice shall make a record of the time of posting, starting date, and the place of posting.

SECTION 4. The entire City shall constitute one election precinct for this election and Lucas Community Center, located at 665 Country Club Road, Lucas, Texas is hereby designated the polling place. The election officers and maximum number of clerks for said polling place shall

be determined and appointed in accordance with the provisions of the Contract.

On Election Day, the polls shall be open from 7:00 AM. to 7:00 P.M.

Early voting by personal appearance shall also be conducted at Lucas Community Center, located at 665 Country Club Road, Lucas, Texas. City of Lucas voters may vote at any of the additional Early Voting locations open under full contract services with the Collin County Elections Administration. If the election services contract with the Collin County Elections Administrator revises the polling places listed previously, the City will utilize the polling places designated in said Election Services Contract, as the same may be amended from time to time.

Applications for ballot by mail shall be received and processed by the Collin County Elections Administrator, 2010 Redbud Boulevard, Suite 102, McKinney, Texas 75069. Applications for ballots by mail must be received no later than the close of business on April 22, 2025. The deadline for a Federal Post Card Application is the same as an application for a ballot by mail.

Early voting by personal appearance will be conducted on weekdays beginning Monday, April 21, 2025, and continuing through Tuesday, April 29, 2025, between 8 a.m. and 5 p.m. as provided in the Joint Election Agreement. Any qualified voter for the Joint Election may vote by personal appearance at either the main early voting location or at any of the branch locations.

SECTION 5. The City Secretary shall present the General Election returns to the City Council at a Council meeting for the canvassing of said elections in accordance with the Texas Election Code. The candidate for Councilmember Seat No. 5 and Councilmember for Seat No. 6; that receives a majority of valid votes by qualified voters at the election shall be declared elected. In the event no candidate receives a majority of all the votes cast for all the candidates for an office, a runoff election shall be ordered by the City Council in accordance with the Lucas City Charter and State law.

SECTION 6. This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as law and charter in such cases provides.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ON THIS _____ DAY OF JANUARY 2025.

APPROVED:

Dusty Kuykendall, Mayor

APPROVED AS TO FORM:

ATTEST:

Joseph J. Gorfida, Jr., City Attorney

Toshia Kimball, City Secretary



RESOLUTION R 2025-01-00564

[Designating Official Newspaper]

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS, DESIGNATING THE *ALLEN AMERICAN* AS THE OFFICIAL NEWSPAPER OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, FOR 2025 BEGINNING JANUARY 2, 2025 THROUGH DECEMBER 31, 2025; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 3.17 of the City Charter states that the City Council pursuant to state law shall designate by resolution a newspaper of general circulation in the City as the official newspaper of the City as provided by State law; and

WHEREAS, the City Council of the City of Lucas, Texas, therefore, designates the Allen American as the official newspaper of the City;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:

SECTION 1. That the City Council of Lucas, Texas, hereby designates the *Allen American*, a public newspaper in and for the City of Lucas, Collin County, Texas, as the official newspaper of the City, the same to continue as such until another is selected, and shall cause to be published therein all ordinances, notices and other matters required by law or by ordinance to be published.

SECTION 2. This Resolution shall become effective from and after its passage.

DULY PASSED by the City Council of the City of Lucas, Texas, on this the 2nd day of January, 2025.

CITY OF LUCAS, TEXAS:

ATTEST:

Dusty Kuykendall, Mayor

Toshia Kimball, City Secretary



City of Lucas City Council Meeting January 2, 2025

Item No. 04

Requester: Development Services Director Joe Hilbourn

Agenda Item Request

Conduct a public hearing and consider approving a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 41.9954 acres (1,829,317 square feet) in the A0017 James Anderson Survey, Sheet 2, Tract 27 and Tract 29, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.

- A. Presentation by Development Services Director Joe Hilbourn
- B. Conduct public hearing
- C. Take action on Zoning Change Request

Background Information

This lot is 41.9954 acres of land currently located in a Commercial Business (CB) Zoning District. The applicant is proposing a planned development. The planned development site plan, elevations of known tenant spaces, material board for future development, a sign plan, and district requirements / development regulations submitted by the applicant and amended at staff's request. The engineering department, public works, development services, fire department, and admin have reviewed for compliance, and needs. The applicant has been very responsive to staff requests. Preliminary drainage plans and engineering have been reviewed by staff and city attorney. We anticipate more detailed drainage plans and engineering to follow approval of PD overlay

The applicant is proposing 8 buildings with a proposed 110,214 square feet of building with an additional 12 pad sites without dedicated buildings for future development. The parking ratio of 8.4 per 1,000 square feet of gross space for a total of 920 Parking spaces. The proposed uses include an anchor grocer Tom Thumb, retail, fitness, gas station and restaurants. The proposed elevations are modern with a country feel, blending country elements with upscale architecture. The site has an approved development agreement, this request is consistent with the approved development agreement. The site is fed by a 12-inch water main from the east side, and a 12-inch water main from the north side creating a loop for the project and for the southeast corner of the city completing a proposed water looping project for the city. The site has access to a sewer lift station that is in the process of completion in accordance with the approved development agreement.

Attachments/Supporting Documentation

1. Public Notice
2. Proposed Development Regulations
3. Exhibit E Legal description
4. Exhibit D Site Plan
5. Exhibit C Signs
6. Exhibit B Color Board/Materials
7. Exhibit A Elevations proposed tenants



City of Lucas City Council Meeting January 2, 2025

Item No. 04

8. Location Map
9. Engineering acceptance letter.
10. Development Ordinance

Budget/Financial Impact

NA

Recommendation

The planning and Zoning commission recommended approval 5-0, with the conditions as listed in the district requirements attached, and within the attached zoning ordinance.

Motion

I make a motion to approve/deny a request for a Planned Development zoning overlay on a parcel of land zoned Commercial Business (CB) on a tract of land being 41.9954 acres (1,829,317 square feet) in the A0017 James Anderson Survey, Sheet 2, Tract 27 and Tract 29, City of Lucas, Collin County, Texas, more commonly known as the Hunt tract at the northwest corner of the Parker Road and Country Club Road intersection.



NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that the Planning & Zoning Commission of the City of Lucas, Texas will conduct a public hearing on December 12, 2024, at 6:30 p.m., and City Council will conduct a second public hearing on Thursday, January 2, 2025, at 6:30 p.m. at Lucas City Hall, 665 Country Club Road, Lucas, Texas to consider a request a request by Winstead PC on behalf of Steve Gregory with JCBR Holdings, LLC for a PD, Planned Development on a tract of land situated in the James Anderson Survey, Abstract No. 17, Collin County, Texas and being part of a called 367.347 acre tract of land described in Special Warranty Deed to JCBR HOLDINGS, LLC, recorded in Instrument No. 20110222000191070, Official Public Records, Collin County, Texas, and being part of a called 2.00 acre tract of land described in General Warranty Deed to JCBR Holdings LLC, recorded in Instrument No. 20150302000222420 of said Official Public Records, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "PJB SURVEYING" found at the southwest end of a corner clip at the intersection of the north right-of-way line of Parker Road (also known as F.M. No. 2514, a variable width right-of-way) and the west right-of-way line of Southview Drive (also known as F.M. Road 1378, a variable width right-of-way), said point also being a southeast corner of said 367.347 acre tract;

THENCE with said north right-of-way line of Parker Road, the following courses and distances:

North 89°48'38" West, a distance of 801.93 feet to a 5/8-inch iron rod found for corner;
South 88°25'33" West, a distance of 194.94 feet to a 5/8-inch iron rod found for corner;
North 89°51'51" West, a distance of 305.21 feet to a 5/8-inch iron rod found for corner;
North 86°12'54" West, a distance of 267.11 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 1,828.00 feet, a central angle of 10°48'32", and a chord bearing and distance of North 84°27'35" West, 344.34 feet;
In a westerly direction, with said non-tangent curve to the right, an arc distance of 344.85 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 72°59'38" West, a distance of 74.76 feet to a point for corner in said north right-of-way line of Parker Road;

THENCE departing said north right-of-way line of Parker Road, with the east line of Enchanted Creek Phase IB, an addition to the City of Lucas, according to the plat recorded in Instrument No. 20150612010002100 of said Official Public Records, the following courses and distances:

North 58°50'27" East, a distance of 26.36 feet to a point for corner;
North 04°32'46" East, a distance of 83.77 feet to a point for corner;

North 08°18'33" West, a distance of 429.94 feet to a point for corner;
North 03°05'56" West, a distance 163.45 feet to a point for corner;

THENCE departing said east line of Enchanted Creek Phase IB, over and across said 367.347 acre tract and said 2.00 acre tract, the following courses and distances:

North 90°00'00" East, a distance of 1,432.12 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 00°00'00" East, a distance of 411.43 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 90°00'00" East, a distance of 211.22 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner in the west line of said 2.00 acre tract;
North 00°00'00" East, a distance of 105.30 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 90°00'00" East, a distance of 384.54 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner at the beginning of a non-tangent curve to the right with a radius of 528.00 feet, a central angle of 16°58'52", and a chord bearing and distance of South 10°26'40" East, 155.91 feet, in said west right-of-way line of Southview Drive;

THENCE with said west right-of-way line of Southview Drive, the following courses and distances:

In a southerly direction, with said non-tangent curve to the right, an arc distance of 156.49 feet to a point for corner
South 02°01'58" East, a distance of 658.47 feet to a point for corner;
South 00°36'17" East, a distance of 414.51 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
South 89°36'14" West, a distance of 28.52 feet to a 5/8-inch iron rod with plastic cap stamped "PBJ SURVEYING" found for corner;
South 00°23'46" East, a distance of 16.38 feet a 1/2-inch iron rod with plastic cap stamped "PJB SURVEYING" found for the northeast end of said corner clip;

THENCE with said corner clip, South 45°06'51" West, a distance of 43.68 feet to the **POINT OF BEGINNING** and containing 1,829,317 square feet or 41.9954 acres of land.

The basis of bearings is based on State Plane Coordinate System, Texas North Central Zone 4204, North American datum of 1982 (2011).

Those wishing to speak FOR or AGAINST the above item are invited to attend. If you are unable to attend and have comments you may send them to City of Lucas, Attention: City Secretary, Toshia Kimball, 665 Country Club Road, Lucas, Texas 75002, email tkimball@lucastexas.us and it will be presented at the hearing. If you have any questions about the above hearing, you may contact Development Services Director Joe Hilbourn at jhilbourn@lucastexas.us.

Planned Development Standards

A. General.

These development standards apply to the approximate cumulative 41.9954-acre tract as described in the legal description (Exhibit E) (the "Property"), attached herein. Unless otherwise provided herein, development of the Property shall be in accordance with the City of Lucas's (the "City") Code of Ordinances (the "Code"), as may be amended.

B. Site Plan.

The Property shall generally be developed in accordance with the Site Plan (Exhibit B), attached herein. In the event of a conflict between the Site Plan and these development standards set forth herein, these development standards shall apply.

C. Use Regulations.

In addition to those specified below, all uses permitted in the Commercial Business (CB) District are permitted by right, subject to any use specific restrictions provided below.

1. Automobile repair minor;
 - a. Only permitted by right on lots 2, 3, 6, 7, 11, 12 and 16.
2. Convenience store with refueling station:
 - a. Only permitted by right on lot 4.
3. Department store (retail);
4. Farmer's market;
5. Hobby or toy store;
6. Medical minor emergency clinic;
7. Outside display of merchandise;
 - a. Only permitted by right on areas shown on the Site Plan;
8. Paint store;
9. Pet shop; Only permitted by right on lots 1, 2, 3, 5, 6, 7, 8, 9, 11, 16 and 17;
10. Pharmacist or drug store (with a drive through);
11. Refueling station:
 - a. Automobile refueling station permitted by right only on lot 4
 - b. Electric automobile refueling station permitted by right only on lots 4 and 10 and require a main exterior disconnect
12. Restaurant drive in;
13. Restaurant drive-through;
 - a. Permitted subject to Development Review Committee ("DRC") review and approval of stacking for drive-through services which shall not extend into roadways, driveways, or other lots.
 - b. Not permitted on lot 1.
14. Restaurant with food smoked on site;
 - a. Only permitted by right on lots 1, 2, 3, 5, 6, 7, 8, 11, and 16;
15. Therapeutic massage;
 - a. Permitted subject to DRC review and approval; and
 - b. Such therapeutic massage uses shall not be open after 9:00pm on any day.

16. Used clothing store; and
17. Vehicle wash:
 - a. Not permitted on lot 1.

D. Development Regulations.

Unless otherwise stated herein, the general provisions set forth in the Code, including the City's Zoning Ordinance (the "Zoning Ordinance"), as amended, apply. The Property shall be developed in accordance with the Commercial Business (CB) District regulations, except as provided herein. In the event of a conflict between the Zoning Ordinance and these development standards set forth herein, these development standards shall apply.

1. Building Height.
 - a. Maximum height.
 - i. Lots 9, 10, and 17: 42 feet.
 - ii. Lots 5 and 8: 35 feet.
 - iii. All other lots shall comply with the CB District standards.
2. Setbacks.
 - a. Side yard: minimum side setback of 10 feet (10') between interior lot lines.
 - b. Rear yard: minimum rear setback of ten feet (10') between interior lot lines.
 - c. Front yard: minimum front setback of ten feet (10') between interior lot lines.
 - d. All periphery setbacks shall comply with the CB District standards.
3. Business operations.
 - a. Outside dining is permitted.
 - b. Outside music prohibited.
 - c. Office uses shall be considered service type uses.
4. Off-street parking and loading.
 - a. Off-street parking and loading shall be provided as shown on the Site Plan and as further provided in Section E of these standards.
5. Impervious coverage.
 - a. Maximum impervious coverage for the Property is 70% with an additional allowance of up to 10% for pervious coverage.
6. Landscaping and tree conservation.
 - a. Landscaping.
 - i. Approved landscape material includes turf grasses.
 - ii. One (1) shade tree and twelve (12) shrubs for every seventy-five (30) linear feet of frontage is required.
 - iii. One (1) shade tree for every 40 feet of adjacency to property used or zoned for single-family or duplex.
 - iv. A minimum of 20 percent of the Property (excluding right of way) shall be maintained as landscaped area.
 - v. A minimum of 5 percent of each individual lot (excluding right of way) shall be maintained as landscaped area.
 - vi. A minimum of 5 percent of interior parking lots shall be maintained as landscaped area.

- vii. Floodplain area shall be considered landscape area subject to the following:
 - A. Floodplain area shall be maintained in a state of good repair and neat appearance so as to not interfere with use of the floodplain area as landscape area.
 - b. Tree Conservation.
 - i. Mature trees within the area identified as “tree preservation zone” on the Site Plan may not be voluntarily removed by the Property owner.
- 7. Signs. Signage must be provided in accordance with the following and as shown on the Site Plan and the Sign Elevations (Exhibit C).
 - a. Maximum height of a freestanding sign shall be 15 feet.
 - b. Monument Signs.
 - i. Maximum height of a freestanding sign shall be 15 feet.
 - A. Exception – Lot 8, sign #1 maximum height is 24 feet.
 - ii. The sign area illustrating the business name shall not exceed 100 square feet. The overall sign area, including the base and/or supporting frame, may be no more than 150 square feet.
 - iii. The minimum distance between signs is 50 feet.
 - iv. Shall incorporate the City of Lucas logo (“L” with horses).
 - v. Prohibited on lot 1.
 - c. Attached Signs.
 - i. Canopy, awning, and arcade signs are permitted.
 - ii. Except as otherwise provided herein, one (1) attached sign is allowed on the front façade of a building. Additional signs may be placed on any other facade of a building if such façade faces an abutting drive or parking lot. Attached signs may be a maximum of 10 percent of the total area of the front façade or 150 square feet, whichever is larger.
 - iii. For tenants occupying a building or suite 7,000 square feet or more, multiple attached signs are permitted. The total area of signs located on the primary facade shall not exceed 10 percent of the primary façade area. The total area of signs located on secondary facades shall not exceed 5 percent of the secondary façade area.
 - iv. Additional signs for a refueling station may be located on the three (3) primary facias of the refueling station canopy. The maximum sign area for the canopy-attached signs shall be the same as the maximum area permitted for the building-attached signs.
 - v. Lot 5 – a double frontage lot – signage allowed on both frontage façades.
 - d. Sign illumination.
 - i. Signs related to a refueling station used to advertise fuel prices shall have no hour restrictions for operation or illumination.
 - ii. Signs related to a grocery store use located on a lot used for a refueling station may be illuminated from dusk to daylight.
 - iii. All other signs related to a grocery use must extinguish illumination at 12:00am.

- iv. Rear illuminated signs allowed only on lot 4 and 8 and side façade of lot 4.
 - v. Animation is prohibited on all signage.
8. Miscellaneous.
- a. A specific use permit shall be required when the total square footage of a single use exceeds 66,000 square feet.
 - b. No screening shall be required along the western property line.
 - c. Off-street loading areas are not required. However, if off-street loading area is provided it must be located at the rear or the side of a building and are not required to be screened from adjacent single-family residential use.

Note: Customer pickup is not considered off-street loading for the purposes of this sub-paragraph.

- d. "Strip-type" commercial development is permitted as generally shown on the Site Plan.
- e. Screening is not required for transformers, utility meters, and other machinery.
- f. The City of Lucas wastewater lift station providing service to the Property shall be screened with wrought-iron fencing.
- g. Transformers, lift stations, utility meters, and other machinery are not required to be located at the rear property line, drive, or alley.
- h. Storefronts or faces of buildings shall provide architectural elements in order to achieve varying façade geometry and articulation.
- i. Direct light sources shall not produce glare at the property line but may be visible at the property line at ground level or above, but must be contained to the target area.
- j. Bays for automobile repair uses may not face a public thoroughfare.
- k. Outdoor storage, display and use Only permitted by right in areas clouded and labeled on the proposed site plan for outdoor storage, all other outdoor storage, display and use by SUP only.
- l. 8-foot above grade masonry screening wall required on lot 14 western lot line.

E. Major Development Standards.

Except as provided herein, the major development standards in section 14.03.355 of the Zoning Ordinance shall apply.

- 1. The maximum height of any wall is not limited by proximity to a residential zoning district.
- 2. No landscape area, including a landscaped street or landscaped pedestrian way, or other appropriate landscape or hardscape features is required to separate lots from each other.
- 3. Parking is not required to be divided into multiple lots and may contain more than 120 parking spaces. No maximum number of total off-street parking serving development on the Property.
- 4. Minimum parking space dimensions shall be nine feet (9') wide and eighteen feet (18') in length.
- 5. A covered passenger loading area is not required except for a medical minor emergency clinic.
- 6. No elevation or change in materials is required to differentiate pedestrian walkways from driving surfaces, except for pedestrian walkways contiguous with buildings.

7. No reader boards having changeable copy, electronic or otherwise, are allowed except for any signs related to a refueling station or a convenience store with refueling station.
 - a. Reader boards related to a refueling station having a changeable copy, electronic, or otherwise may be located on a:
 - i. Monument sign;
 - ii. Canopy sign; or
 - iii. Any other sign permitted by these standards or the Code to display fuel pricing.
8. No bus pullout or shelter is required to be developed on-site or off-site in relation to the Property.

F. Site plan, landscape plan, and building design.

1. Site plans and amendments to the Site Plan that conform to the requirements of this planned development shall be reviewed by Planning and Zoning Commission but do not require public hearings. Non-conforming site plans and amendments to non-conforming site plans require review and approval by the Planning and Zoning Commission after a public hearing. Amendments to the Site Plan may not increase maximum height or density, decrease maximum impervious coverage, or decrease minimum setbacks.
2. Landscape plans and amendments to landscape plans that conform to the requirements of this planned development shall be reviewed by the Planning and Zoning Commission but do not require a public hearing. Non-conforming landscape plans and amendments to non-conforming landscape plans require review and approval by the Planning and Zoning Commission after a public hearing. Minor amendments to the approved landscape plan may be approved administratively by the DRC.
3. Building design and materials.
 - a. Lot 4, 8, 9, 10, and 17.
 - i. Building design, materials, and appearance for lots 4, 8, 9, 10, and 17 shall be provided in accordance with the Retail Design Package (Exhibit D).
 - b. All other lots shall provide building design, materials, and appearance generally consistent with the Materials Board (Exhibit E).
4. Development of the Property shall be consistent with the Site Plan.

PROPERTY DESCRIPTION

BEING a tract of land situated in the James Anderson Survey, Abstract No. 17, Collin County, Texas and being part of a called 367.347 acre tract of land described in Special Warranty Deed to JCBR HOLDINGS, LLC, recorded in Instrument No. 20110222000191070, Official Public Records, Collin County, Texas, and being part of a called 2.00 acre tract of land described in General Warranty Deed to JCBR Holdings LLC, recorded in Instrument No. 20150302000222420 of said Official Public Records, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "PJB SURVEYING" found at the southwest end of a corner clip at the intersection of the north right-of-way line of Parker Road (also known as F.M. No. 2514, a variable width right-of-way) and the west right-of-way line of Southview Drive (also known as F.M. Road 1378, a variable width right-of-way), said point also being a southeast corner of said 367.347 acre tract;

THENCE with said north right-of-way line of Parker Road, the following courses and distances:

North 89°48'38" West, a distance of 801.93 feet to a 5/8-inch iron rod found for corner;
South 88°25'33" West, a distance of 194.94 feet to a 5/8-inch iron rod found for corner;
North 89°51'51" West, a distance of 305.21 feet to a 5/8-inch iron rod found for corner;
North 86°12'54" West, a distance of 267.11 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 1,828.00 feet, a central angle of 10°48'32", and a chord bearing and distance of North 84°27'35" West, 344.34 feet;
In a westerly direction, with said non-tangent curve to the right, an arc distance of 344.85 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 72°59'38" West, a distance of 74.76 feet to a point for corner in said north right-of-way line of Parker Road;

THENCE departing said north right-of-way line of Parker Road, with the east line of Enchanted Creek Phase IB, an addition to the City of Lucas, according to the plat recorded in Instrument No. 20150612010002100 of said Official Public Records, the following courses and distances:

North 58°50'27" East, a distance of 26.36 feet to a point for corner;
North 04°32'46" East, a distance of 83.77 feet to a point for corner;
North 08°18'33" West, a distance of 429.94 feet to a point for corner;
North 03°05'56" West, a distance 163.45 feet to a point for corner;

THENCE departing said east line of Enchanted Creek Phase IB, over and across said 367.347 acre tract and said 2.00 acre tract, the following courses and distances:

North 90°00'00" East, a distance of 1,432.12 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 00°00'00" East, a distance of 411.43 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 90°00'00" East, a distance of 211.22 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner in the west line of said 2.00 acre tract;
North 00°00'00" East, a distance of 105.30 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 90°00'00" East, a distance of 384.54 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner at the beginning of a non-tangent curve to the right with a radius of 528.00 feet, a central angle of 16°58'52", and a chord bearing and distance of South 10°26'40" East, 155.91 feet, in said west right-of-way line of Southview Drive;

THENCE with said west right-of-way line of Southview Drive, the following courses and distances:

In a southerly direction, with said non-tangent curve to the right, an arc distance of 156.49 feet to a point for corner

South 02°01'58" East, a distance of 658.47 feet to a point for corner;

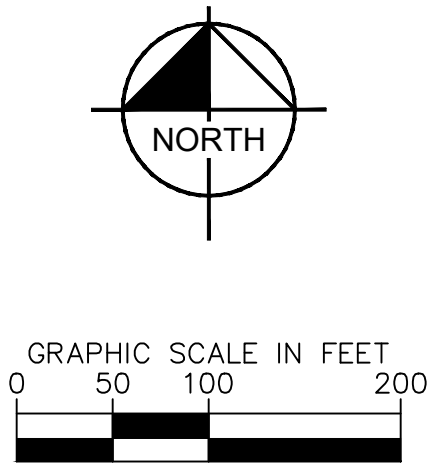
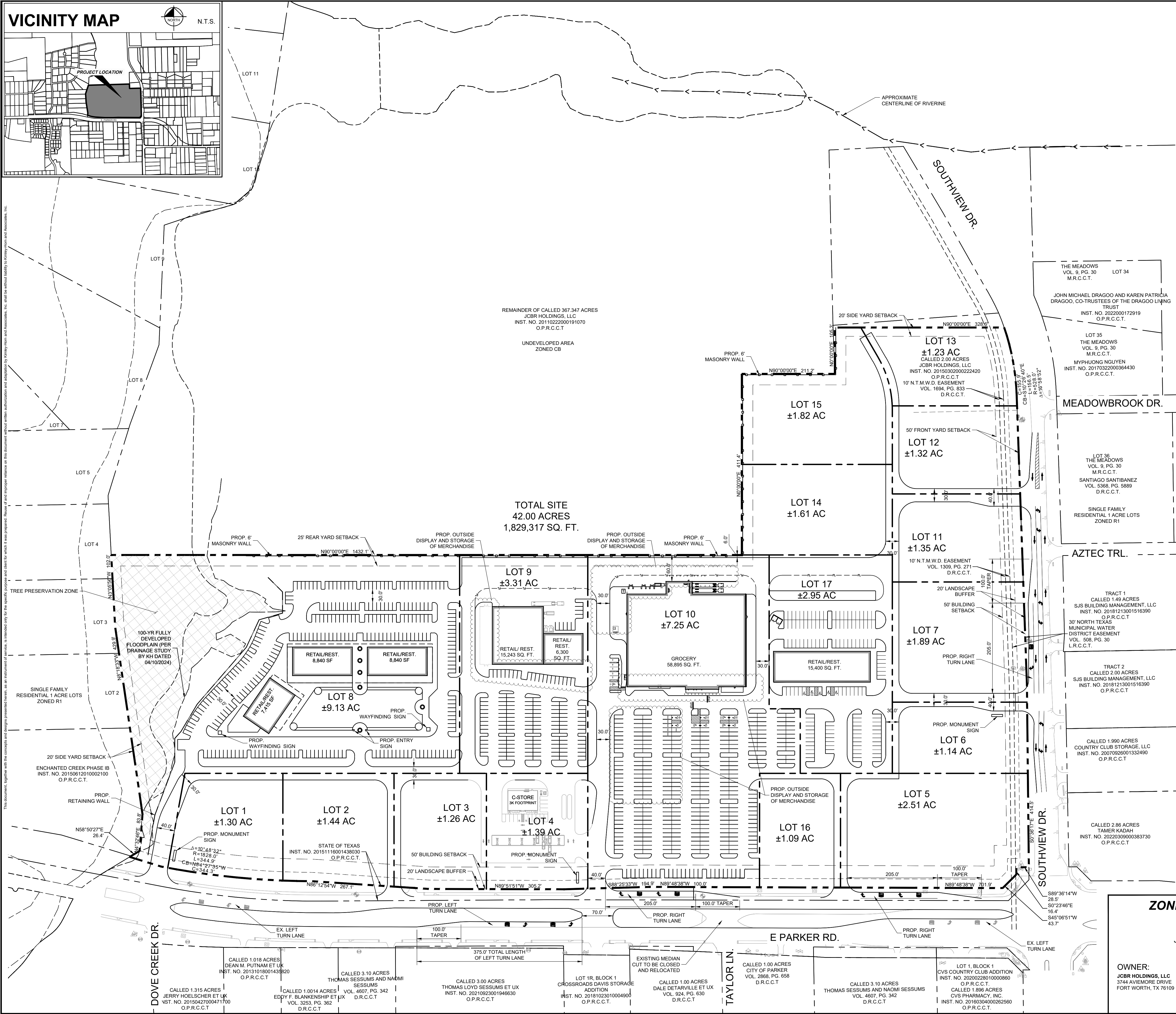
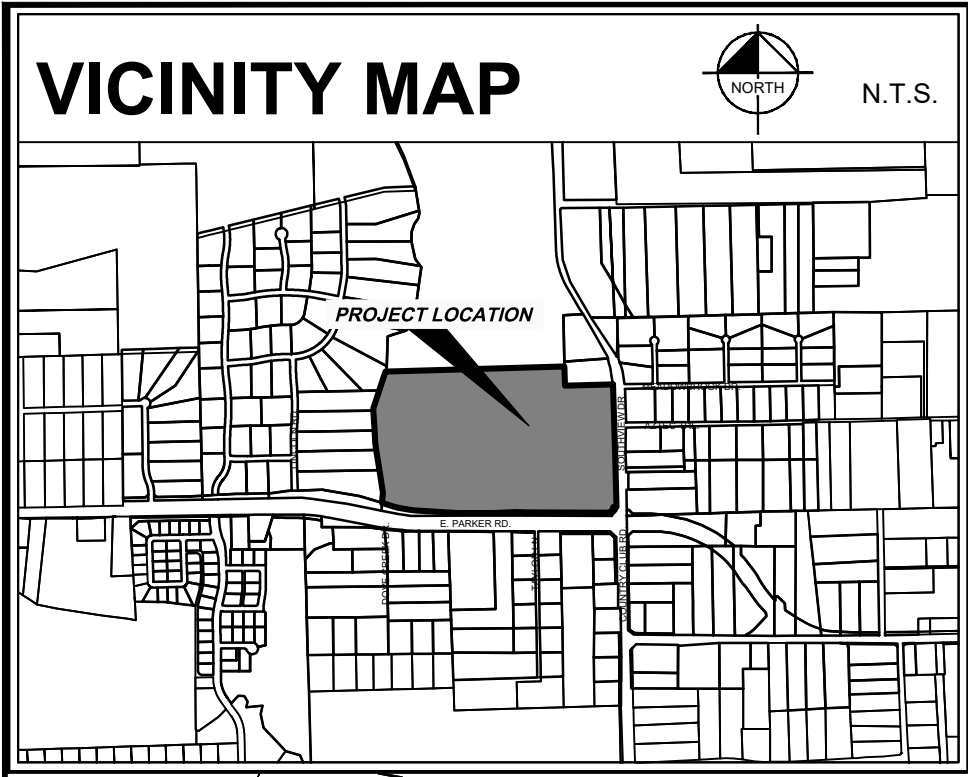
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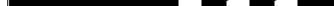
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South 00°23'46" East, a distance of 16.38 feet a 1/2-inch iron rod with plastic cap stamped "PJB SURVEYING" found for the northeast end of said corner clip;

THENCE with said corner clip, South 45°06'51" West, a distance of 43.68 feet to the **POINT OF BEGINNING** and containing 1,829,317 square feet or 41.9954 acres of land.

The basis of bearings is based on State Plane Coordinate System, Texas North Central Zone 4204, North American datum of 1982 (2011).



LEGEND	
ZONING BOUNDARY	
LOT LINE	
HANDICAP PARKING STALL	
LOADING ZONE/ CROSSWALK	
TREE PRESERVATION ZONE	

NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 2' UNLESS DIMENSIONED OTHERWISE.
3. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.
4. DEVELOPMENT OF THE SITE TO BE IN ACCORDANCE WITH THE CITY OF LUCAS DEVELOPMENT STANDARDS AND SUBSTANTIALLY CONFORM TO THE CITY OF LUCAS COMPREHENSIVE PLAN.

SITE DATA SUMMARY TABLE	
LOT SIZE	42.0 AC (1,829,317 SF)
EX. ZONING:	CB - COMMERCIAL BUSINESS
PROP. ZONING:	PD - PLANNED DEVELOPMENT
EX. LAND USE:	UNDEVELOPED
PROP. LAND USE:	RETAIL

STATEMENT OF PURPOSE AND INTENT: THE PURPOSE OF THIS PLAN IS TO REZONE THE EXISTING PROPERTY FROM COMMERCIAL BUSINESS (CB) TO PLANNED DEVELOPMENT. TRANSPORTATION SYSTEM: SOUTHWIND DRIVE WILL BE WIDENED AND IMPROVED; ANTICIPATED IMPROVEMENTS FOR SOUTHWIND INCLUDE LANE RESTRIPPING AND ONE RIGHT TURN DECELERATION LANE. ANTI-LOCK BRAKE SYSTEMS TO PARKER ROAD INCLUDE RELOCATING ONE MEDIAN CUT, ONE LEFT TURN DECELERATION LANE, AND TWO RIGHT TURN DECELERATION LANES. WATER: PUBLIC WATER LINE WILL BE EXTENDED THROUGH THE PROPERTY TO CONNECT THE EXISTING MAINS ON PARKER ROAD AND SOUTHWIND DRIVE. WASTEWATER: OFFSITE SANITARY SEWER EXTENSION IS ANTICIPATED TO CONNECT THE SITE TO THE S.E. WASTEWATER LIFT STATION (HUNT LIFT STATION).
--

NOTE
THIS CONCEPT PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. THIS CONCEPT PLAN, ALONG WITH DEVELOPMENT REGULATIONS (FOR PLANNED DEVELOPMENT REQUESTS), ARE INTENDED TO DESCRIBE THE INTENT OF THE PLANNED DEVELOPMENT. SIGNIFICANT DEVIATIONS FROM THIS CONCEPT PLAN, AS DETERMINED BY THE DEVELOPMENT SERVICES DIRECTOR, WILL REQUIRE AN AMENDMENT TO THE CONCEPT PLAN AND, AS NECESSARY, THE DEVELOPMENT REGULATIONS.

[illegible]

Kimley»Horn
225 E JOHN CARPENTER FREEWAY, SUITE 1100
IRVING, TX 75062
PHONE: 214-420-5600
WWW.KIMLEY-HORN.COM TX F-928
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

THIS CONCEPT PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

KHA PROJECT 064405915	DATE 12/02/2024
SCALE	AS SHOWN
DESIGNED BY	BLB
DRAWN BY	SLC
CHECKED BY	BLB

LUCAS TOWN CENTER
PREPARED FOR
MALOUF INTERESTS, INC.

CITY OF LUCAS, TEXAS

ZONING CONCEPT PLAN

SHEET NUMBER
EXH - B

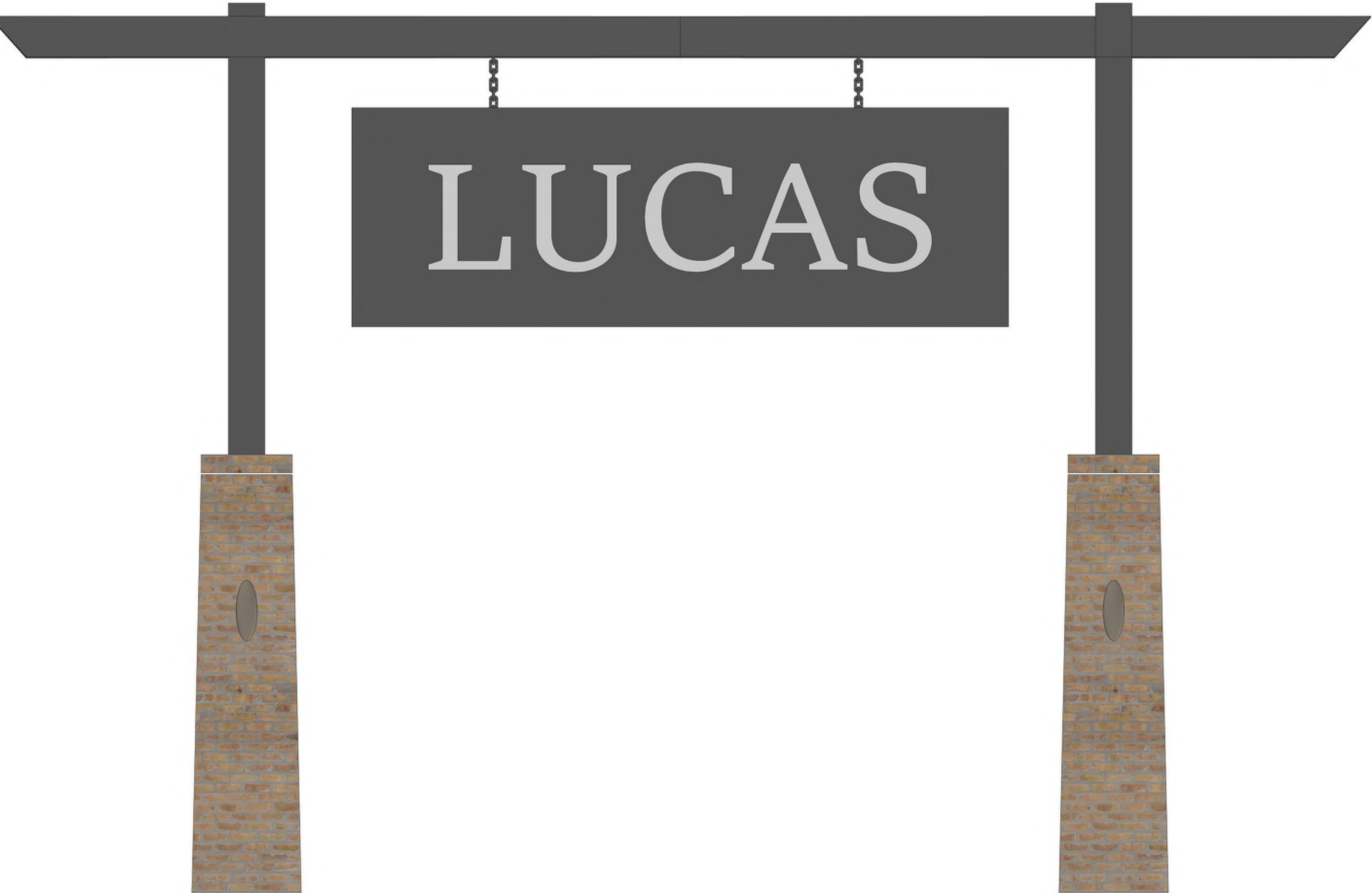
ZONING CONCEPT PLAN - EXHIBIT B
LUCAS TOWN CENTER
 42.00 ACRES
 JAMES ANDERSON SURVEY, ABSTRACT NO. 17
 CITY OF LUCAS, COLLIN COUNTY, TEXAS

OWNER:	DEVELOPER:	ENGINEER/SURVEYOR:
JCBB HOLDINGS, LLC 3744 AVIEMORE DRIVE FORT WORTH, TX 76109	MALOUF INTERESTS, INC. OLD PARKLAND - FREEDOM PLACE 4143 MAPLE AVE, #325 DALLAS, TX 75219 PHONE: 214-219-4900 CONTACT: STEVE GREGORY	KIMLEY-HORN AND ASSOCIATES, INC. 225 E JOHN W. CARPENTER FRWY SUITE 1100 IRVING, TEXAS 75063 PHONE: 214-420-5600 CONTACT: BLAZE BOWDNS, P.E.

A-1



3 MULTI-FACE WAYFINDING SIGNAGE - LOT 8
1/2" = 1'-0"



1 DOUBLE-SIDED FEATURE SIGNAGE - LOT 8
1/2" = 1'-0"



2 RESTAURANT DOUBLE-SIDED HANGING SIGNAGE - LOT 8
1/2" = 1'-0"

OWNER / APPLICANT
MALOUF INTERESTS
OLD PARKLAND - FREEDOM PLACE
4143 MAPLE AVE
SUITE 325
DALLAS, TEXAS 75219
STEVE GREGORY
214.770.2888

ARCHITECT
GFF ARCHITECTS INC.
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75204
COLEMAN BRINK
214.686.3533

LUCAS RETAIL PLANNING

LUCAS, TEXAS

SCHEMATIC DESIGN

THIS DOCUMENT IS
NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION.

Drawn
Approved

GFF ARCHITECTS

SIGNAGE

Project No. 23103.00
Date 12.2.2024


$$1'' = 12$$

$$1/2^m = 1'-0^m$$

- NEW 5" DEEP ILLUMINATED CHANNEL LETTERS WITH BLACK ALUMINUM RETURNS.
- .WHITE ACRYLIC FACES FOR DARK FACADE.
- 1" WIDE BLACK TRIMCAP.
- WHITE LED ILLUMINATION.
- FLUSH-MOUNTED TO SIGN BAND.

120V


$$1/2'' = 1'-0''$$

- 5" DEEP, .063" THK ALUM. RETURNS PTD. WHITE W/ 3/4" X .090" LANDING WELDED ON FRONT.
- 3/16" WHITE POLYCARBONATE FACE W/ DIRECT DIGITALLY PRINTED GRAPHIC, RED MATCH 3M 3630-53 CARDINAL RED APPLIED ON 1ST SURFACE W/ APPLIED UV PROTECTIVE FILM ON 1ST SURFACE AFTER PRINTING.
- 1" X 1" X .090" ALUM. RETAINERS PTM. RED MATCH 3M 3630-53 CARDINAL RED.
- PRINCIPAL STREET FIGHTER CHOICE WHITE LEDs
- 3mm ACM BACK.

- .040" PREFINISHED WHITE ALUM. RETURNS AND 3mm WHITE ACM BACKS.
- 1/8" WHITE ACRYLIC FACES W/ 1" BLACK TRIM CAPS.
- PRINCIPAL STREET FIGHTER CHOICE WHITE LEDs


$$1/2^m = 1'-0^m$$

- NEW 5" DEEP ILLUMINATED CHANNEL LETTERS WITH WHITE ALUMINUM RETURNS AT LETTERS AND RED ALUMINUM RETURNS AT UNDERSCORE.
- WHITE POLYCARBONATE LETTER FACES.
- WHITE POLYCARBONATE UNDERSCORE FACE WITH FIRST SURFACE RED VINYL OVERLAY. 1" x ¾" WIDE ALUMINUM FACE RETAINERS PAINTED TO MATCH FACE COLOR.
- 6500K WHITE LED ILLUMINATION AT LETTERS.
- RED LED ILLUMINATION AT UNDERSCORE.
- FLUSH-MOUNTED TO SIGN BAND.


$$1/2'' = 1'-0''$$

- NEW 5" DEEP ILLUMINATED CHANNEL LETTER LOGO WITH BLACK ALUMINUM RETURNS.
- .177" THK. #7328 WHITE POLYCARBONATE FACE WITH FIRST SURFACE VINYL WITH DIGITALLY-PRINTED COLOR TO MATCH BRAND GUIDELINES.
- 2" WIDE BLACK TRIMCAP WITH CLIPS.
- PRINCIPAL STREET FIGHTER CHOICE WHITE LED ILLUMINATION.
- FLUSH-MOUNTED TO SIGN BAND.

120V

LUCAS RETAIL PLANNING

LUCAS, TEXAS

SCHEMATIC DESIGN

		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
No. Date	Revision	

THIS DOCUMENT IS
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CONSTRUCTION.

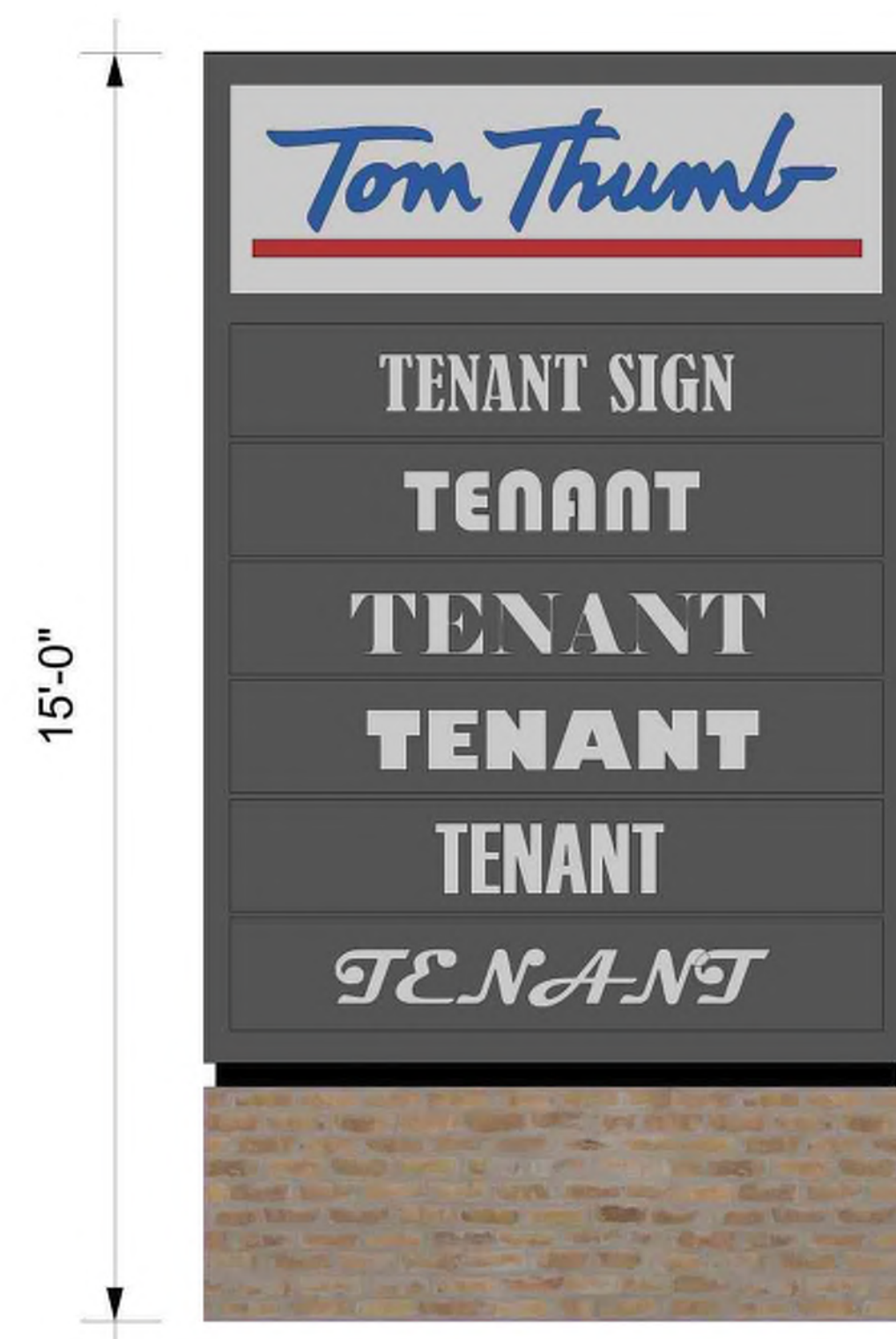
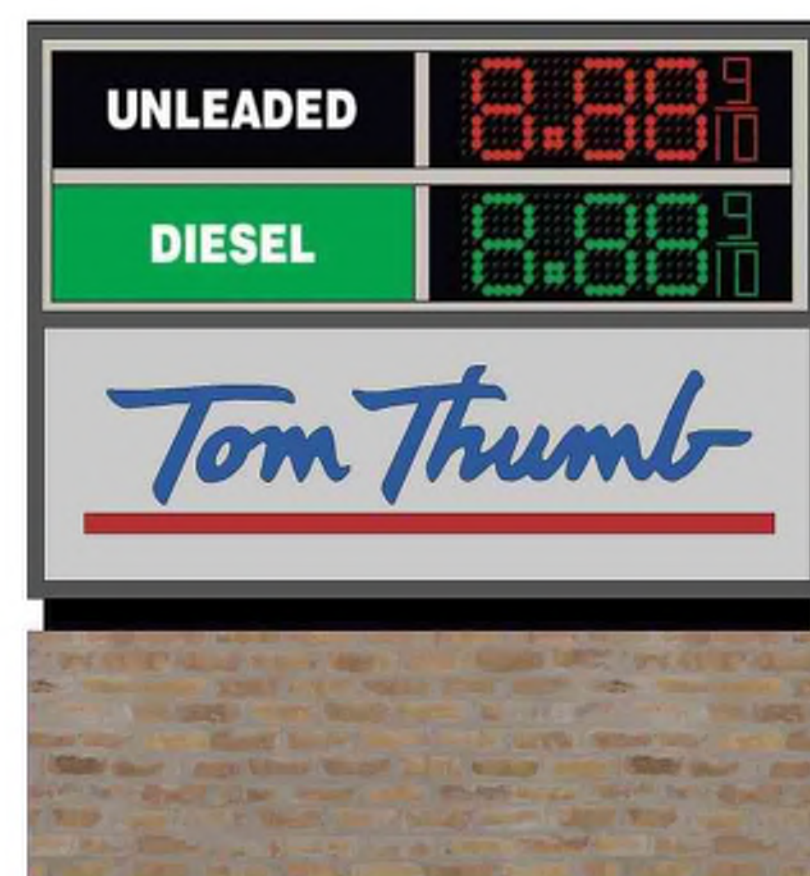
Approved _____ GFF ARCHITECTS

SIGNAGE

Project No.	23103.00
Date	12.2.2024

A-3

GFF design



OWNER / APPLICANT

MALOUF INTERESTS
OLD PARKLAND - FREEDOM PLACE
4143 MAPLE AVE
SUITE 325
DALLAS, TEXAS 75219
STEVE GREGORY
214.770.2888

ARCHITECT

GFF ARCHITECTS INC.
3030 NOWITZKI WAY
SUITE 400
DALLAS, TX 75204
COLEMAN BRINK
214.686.3533

LUCAS RETAIL PLANNING

LUCAS, TEXAS

SCHEMATIC DESIGN

No.	Date
	Revision

THIS DOCUMENT IS
NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION.

Drawn _____

Approved _____

GFF ARCHITECTS

SIGNAGE

Project No.	23103.00
Date	12.2.2024



COMPOSITE WOOD PLANK - SOFFIT



BRICK BLEND - RUNNING BOND



PAINTED CMU - MULTIPLE NEUTRAL COLORS



CORRUGATED METAL ROOF AND WALL PANEL



CLEAR ANODIZED ALUMINUM STOREFRONT



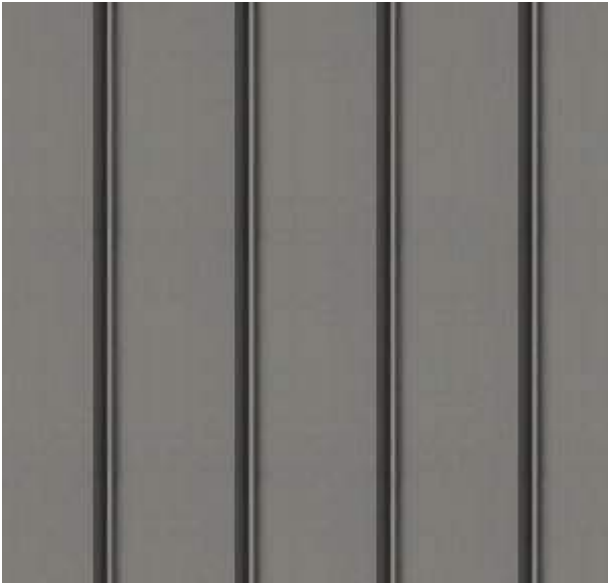
COMPOSITE WOOD PLANK - WALL SIDING



WHITE BRICK- RUNNING BOND



CHARCOAL GRAY PAINT



STANDING SEAM METAL PANEL - SLATE GRAY



BLACK ANODIZED ALUMINUM STOREFRONT

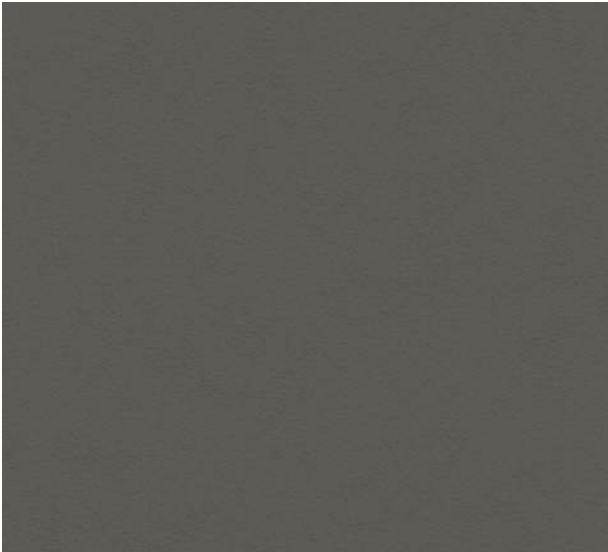
Exhibit C



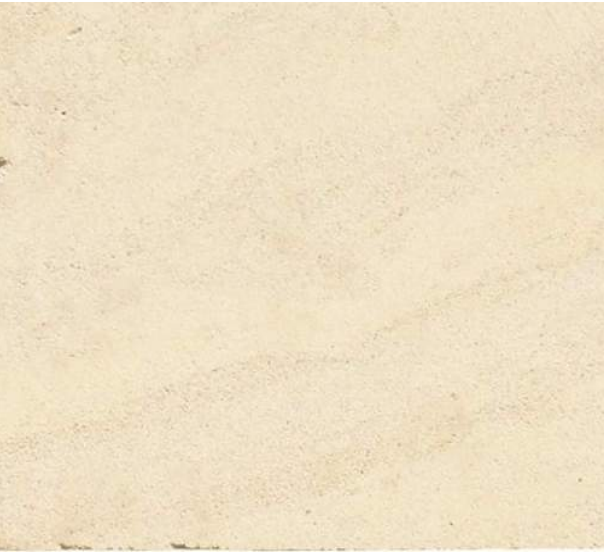
WOOD-LOOK METAL PANEL TO MATCH WALL SIDING



WHITE STUCCO - SHERWIN WILLIAMS 7008 ALABASTER

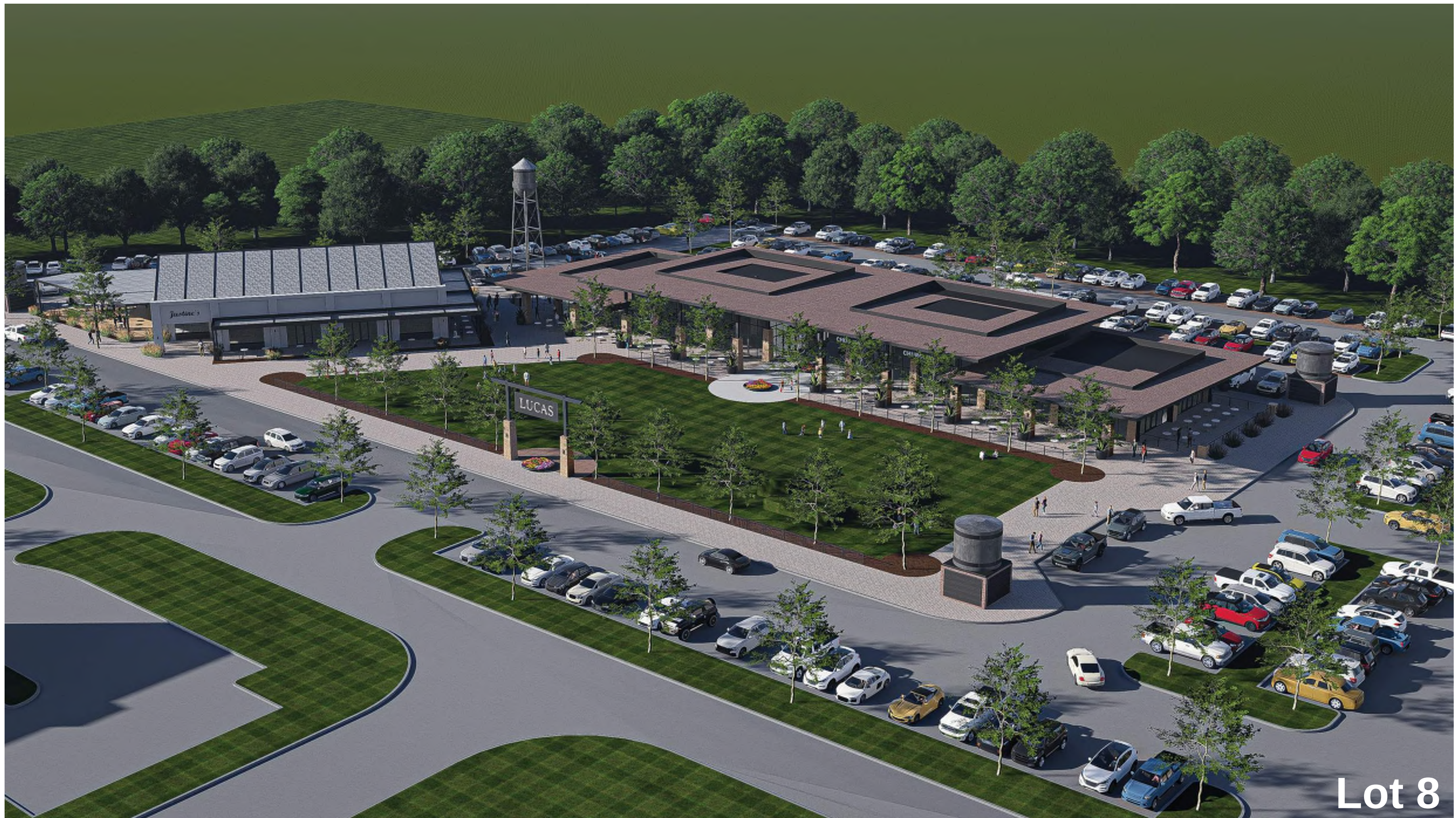


CHARCOAL STUCCO - SHERWIN WILLIAMS 7019 GAUNTLET GRAY



HONED NATURAL LIMESTONE VENEER

Lucas Retail Design





Lot 8







Lot 8



Lot 8



Lot 8



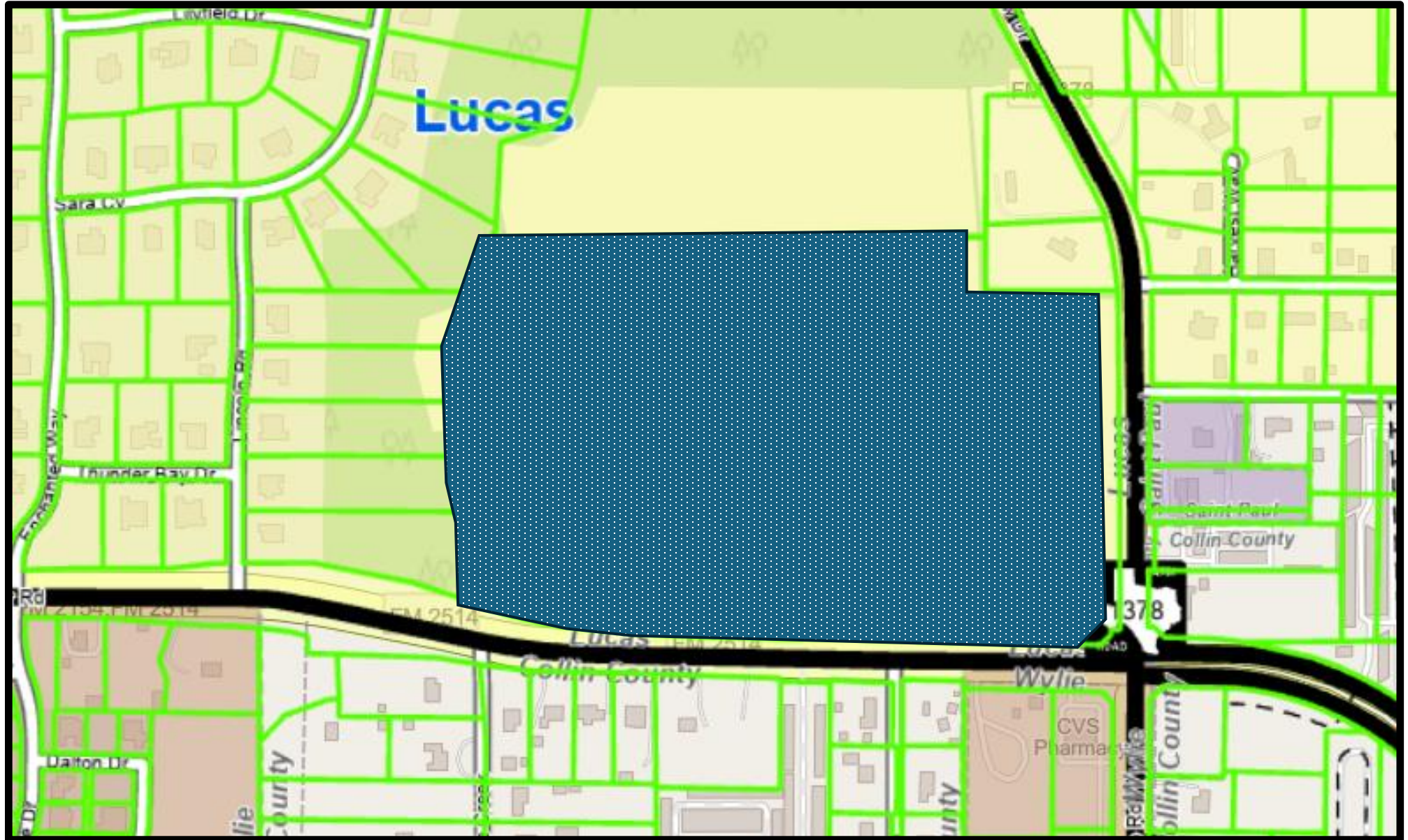








Parker & Southview Planned Development ~ Location Map





Patrick Hubbard, MPA

City of Lucas
CIP Manager
665 Country Club Road
Lucas, Texas 75002

May 21, 2024

Re: *2nd Review Comments*
Malouf – Private Development
Lucas, TX – Muddy Creek

Mr. Hubbard:

Cardinal Strategies Engineering Services, LLC ("Cardinal") received a Detention Timing Study from Kimley-Horn and Associates, Inc for the Malouf commercial site located on the northwest corner of Parker Road and Southview Drive in the City of Lucas, Texas. The comments made are in general observation of the information provided and do not relieve the Engineer of Record of any responsibilities under the Texas Engineering Practice Act.

I. Report

1. 1st Comment: The final report should be signed and sealed by the professional engineer.

1st Response: The final report has been signed and sealed.

2nd Comment: Addressed.

II. Hydrology

1. 1st Comment: The drainage areas should be rounded to 0.01 acres (0.000001 sq mi) in HEC-HMS from the CITY Planning and Design Criteria Section 13.07.005.c.6.

1st Response: The drainage area values in HEC-HMS have been updated.

2nd Comment: Addressed.

2. 1st Comment: From the CITY Planning and Design Criteria Section 13.07.005.b, the hydrology model should be in the latest version of HEC-HMS

1st Response: The HEC-HMS model has been updated to the latest version (Version 4.11)

2nd Comment: Addressed.

3. 1st Comment: There are markups added to EXH-3 which are included with these comments. There seems to be new developments around drainage area MC_R2630W2630 that were developed after the Cardinal study. The change in land use and drainage area should be reflected in this study.

1st Response: The land use has been updated to align with current land use.

2nd Comment: Addressed.

4. 1st Comment: The Post-Project Time of Concentrations table calculations only have Storm Sewer Flow for the flow path (aside from MC_R2630W2630c1), there should be sheet and shallow concentrated flow with these areas.

1st Response: Since this is just a preliminary design to determine if the site can develop without detention, there is no grading associated with the current site plan. Kimley-Horn used a minimum inlet time in lieu of sheet and shallow concentrated flow for this exercise. Grading will be provided when the site goes into final design.

2nd Comment: Conditionally Addressed. The lag times will need to be updated when this goes to final design.

5. 1st Comment: EXH-3 and EXH-4 show a difference in land use off-site in drainage area MC_R2630W2630a, shown in the clips below. Though the curve numbers for the drainage areas are the same. Please revise.

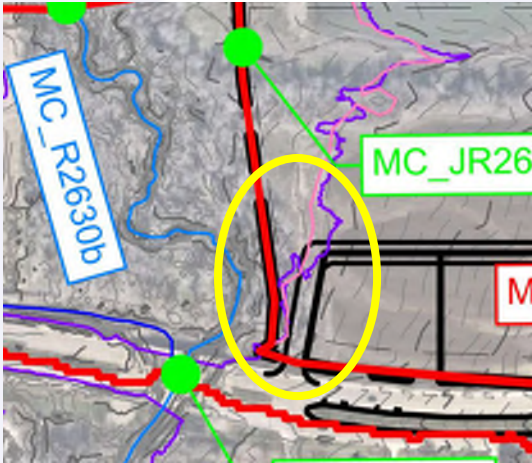


1st Response: Drainage area MC_R2630W2630a has been updated to show the proper land use.

2nd Comment: Addressed

III. Hydraulics

- 1st Comment: The Hydraulic Analysis section mentions that the site won't affect the floodplain but EXH-2 shows the floodplain overlaps with the entrance on the west side of the site (see clip below). If grading in this area is proposed then a Hydraulic Analysis will be needed.



1st Response: The site plan has been adjusted to be outside of the floodplain.

2nd Comment: Addressed.

IV. General

- 1st Comment: Please include all digital files (CAD/shapefiles) that were used in the hydrology and hydraulic study. This should include drainage areas, land use, flowpaths, soils, cross-sections, stream centerlines, floodplains, existing and proposed contours and etc.

1st Response: CAD digital files have been included.

2nd Comment: Addressed.

Based on the comments above, Cardinal does recommend acceptance of this plan set. The study meets the standards set by the CITY.

Sincerely,



Thomas Caffarel, PE, CFM
Engineering Services Manager
Cardinal Strategies
TBPE Firm Registration No. F-11976



John Jacobs, CFM
Assistant Project Manager
Cardinal Strategies
TBPE Firm Registration No. F-11976



ORDINANCE # 2025-01-01011

**[CHANGE IN ZONING – ±41.9954 ACRES LOCATED AT NORTHWEST CORNER OF
PARKER ROAD AND COUNTRY CLUB ROAD]**

AN ORDINANCE OF THE CITY OF LUCAS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF LUCAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN ZONING CLASSIFICATION FROM COMMERCIAL BUSINESS (CB) TO PLANNED DEVELOPMENT NO. 3 (PD-3) WITH A BASE ZONING OF COMMERCIAL BUSINESS (CB), ON A PARCEL OF LAND, LOCATED AT THE NORTHWEST CORNER OF PARKER ROAD AND COUNTRY CLUB ROAD, LUCAS, COLLIN COUNTY, TEXAS, AND BEING PART OF THE JAMES ANDERSON SURVEY, ABSTRACT 17, SHEET 2, TRACT 27 AND TRACT 29, AND BEING PART OF A CALLED 367.347 ACRE TRACT OF LAND DESCRIBED IN SPECIAL WARRANTY DEED AS RECORDED UNDER COUNTY CLERK'S FILE NO. 20110222000191070 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, AND BEING PART OF A CALLED 2.00 ACRE TRACT OF LAND DESCRIBED IN A GENERAL WARRANTY DEED RECORDED IN INSTRUMENT NO. 20150302000222420 OF SAID OFFICIAL PUBLIC RECORDS AND BEING MORE PARTICULARLY DESCRIBED AND DEPICTED ON EXHIBIT "A" AND EXHIBIT "B" ATTACHED HERETO; PROVIDING A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Lucas, Texas and the City Council of the City of Lucas, Texas, in compliance with the laws of the State of Texas with reference to the granting of zoning classifications and changes, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested and situated in the affected area and in the vicinity thereof, and the City Council of the City of Lucas, Texas is of the opinion and finds that said zoning change should be granted and that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LUCAS, TEXAS:

Section 1. The Comprehensive Zoning Ordinance and Map of the City of Lucas, Texas, are hereby amended to grant a change in zoning from Commercial District (CB) to Planned Development No. 3 (PD-3) with a base zoning of Commercial Business (CB), on a parcel of land, located at Northwest corner of Parker Road and Country Club Road, Lucas, Collin County, Texas, and being part of the James Anderson Survey, Abstract No. 17, and being part of a called 367.347 acre of land described in a special warrant deed recoded in instrument no. 20110222000191070 of the Deed

Records of Collins County, Texas and being part of a called 2.00 acre tract of land described in a General Warranty Deed as recorded under County Clerk's File No. 20150302000222420 of said Official Public Records and being more particularly described and depicted on Exhibit "A" and Exhibit "B", attached hereto and made part hereof for all purposes.

Section 2. Land Use and Development Standards

A. General.

These development standards apply to the approximate cumulative 41.9954-acre tract as described in the legal description (Exhibit E) (the "Property"), attached herein. Unless otherwise provided herein, development of the Property shall be in accordance with the City of Lucas's (the "City") Code of Ordinances (the "Code"), as may be amended.

B. Site Plan.

The Property shall generally be developed in accordance with the Site Plan (Exhibit B), attached herein. In the event of a conflict between the Site Plan and these development standards set forth herein, these development standards shall apply.

C. Use Regulations.

In addition to those specified below, all uses permitted in the Commercial Business (CB) District are permitted by right, subject to any use specific restrictions provided below.

1. Automobile repair minor;
 - a. Only permitted by right on lots 2, 3, 6, 7, 11, 12 and 16.
2. Convenience store with refueling station:
 - a. Only permitted by right on lot 4.
3. Department store (retail);
4. Farmer's market;
5. Hobby or toy store;
6. Medical minor emergency clinic;
7. Outside display of merchandise;
 - a. Only permitted by right on areas shown on the Site Plan;
8. Paint store;
9. Pet shop; Only permitted by right on lots 1, 2, 3, 5, 6, 7, 8, 9, 11, 16 and 17;
10. Pharmacist or drug store (with a drive through);
11. Refueling station:
 - a. Automobile refueling station permitted by right only on lot 4
 - b. Electric automobile refueling station permitted by right only on lots 4 and 10 and require a main exterior disconnect
12. Restaurant drive in;
13. Restaurant drive-through;

- a. Permitted subject to Development Review Committee ("DRC") review and approval of stacking for drive-through services which shall not extend into roadways, driveways, or other lots.
 - b. Not permitted on lot 1.
- 14. Restaurant with food smoked on site;
 - a. Only permitted by right on lots 1, 2, 3, 5, 6, 7, 8, 11, and 16;
- 15. Therapeutic massage;
 - a. Permitted subject to DRC review and approval; and
 - b. Such therapeutic massage uses shall not be open after 9:00pm on any day.
- 16. Used clothing store; and
- 17. Vehicle wash:
 - a. Not permitted on lot 1.

D. Development Regulations.

Unless otherwise stated herein, the general provisions set forth in the Code, including the City's Zoning Ordinance (the "Zoning Ordinance"), as amended, apply. The Property shall be developed in accordance with the Commercial Business (CB) District regulations, except as provided herein. In the event of a conflict between the Zoning Ordinance and these development standards set forth herein, these development standards shall apply.

- 1. Building Height.
 - a. Maximum height.
 - i. Lots 9, 10, and 17: 42 feet.
 - ii. Lots 5 and 8: 35 feet.
 - iii. All other lots shall comply with the CB District standards.
- 2. Setbacks.
 - a. Side yard: minimum side setback of 10 feet (10') between interior lot lines.
 - b. Rear yard: minimum rear setback of ten feet (10') between interior lot lines.
 - c. Front yard: minimum front setback of ten feet (10') between interior lot lines.
 - d. All periphery setbacks shall comply with the CB District standards.
- 3. Business operations.
 - a. Outside dining is permitted.
 - b. Outside music prohibited.
 - c. Office uses shall be considered service type uses.
- 4. Off-street parking and loading.
 - a. Off-street parking and loading shall be provided as shown on the Site Plan and as further provided in Section E of these standards.
- 5. Impervious coverage.
 - a. Maximum impervious coverage for the Property is 70% with an additional allowance of up to 10% for pervious coverage.
- 6. Landscaping and tree conservation.
 - a. Landscaping.
 - i. Approved landscape material includes turf grasses.

- ii. One (1) shade tree and twelve (12) shrubs for every seventy-five (30) linear feet of frontage is required.
 - iii. One (1) shade tree for every 40 feet of adjacency to property used or zoned for single-family or duplex.
 - iv. A minimum of 20 percent of the Property (excluding right of way) shall be maintained as landscaped area.
 - v. A minimum of 5 percent of each individual lot (excluding right of way) shall be maintained as landscaped area.
 - vi. A minimum of 5 percent of interior parking lots shall be maintained as landscaped area.
 - vii. Floodplain area shall be considered landscape area subject to the following:
 - A. Floodplain area shall be maintained in a state of good repair and neat appearance so as to not interfere with use of the floodplain area as landscape area.
- b. Tree Conservation.
 - i. Mature trees within the area identified as “tree preservation zone” on the Site Plan may not be voluntarily removed by the Property owner.
- 7. Signs. Signage must be provided in accordance with the following and as shown on the Site Plan and the Sign Elevations (Exhibit C).
 - a. Maximum height of a freestanding sign shall be 15 feet.
 - b. Monument Signs.
 - i. Maximum height of a freestanding sign shall be 15 feet.
 - A. Exception – Lot 8, sign #1 maximum height is 24 feet.
 - ii. The sign area illustrating the business name shall not exceed 100 square feet. The overall sign area, including the base and/or supporting frame, may be no more than 150 square feet.
 - iii. The minimum distance between signs is 50 feet.
 - iv. Shall incorporate the City of Lucas logo (“L” with horses).
 - v. Prohibited on lot 1.
 - c. Attached Signs.
 - i. Canopy, awning, and arcade signs are permitted.
 - ii. Except as otherwise provided herein, one (1) attached sign is allowed on the front façade of a building. Additional signs may be placed on any other facade of a building if such façade faces an abutting drive or parking lot. Attached signs may be a maximum of 10 percent of the total area of the front façade or 150 square feet, whichever is larger.
 - iii. For tenants occupying a building or suite 7,000 square feet or more, multiple attached signs are permitted. The total area of signs located on the primary facade shall not exceed 10 percent of the primary façade area. The total area of signs located on secondary facades shall not exceed 5 percent of the secondary façade area.
 - iv. Additional signs for a refueling station may be located on the three (3) primary facias of the refueling station canopy. The maximum sign area for the canopy-

attached signs shall be the same as the maximum area permitted for the building-attached signs.

v. Lot 5 – a double frontage lot – signage allowed on both frontage façades.

d. Sign illumination.

i. Signs related to a refueling station used to advertise fuel prices shall have no hour restrictions for operation or illumination.

ii. Signs related to a grocery store use located on a lot used for a refueling station may be illuminated from dusk to daylight.

iii. All other signs related to a grocery use must extinguish illumination at 12:00am.

iv. Rear illuminated signs allowed only on lot 4 and 8 and side façade of lot 4.

v. Animation is prohibited on all signage.

8. Miscellaneous.

a. A specific use permit shall be required when the total square footage of a single use exceeds 66,000 square feet.

b. No screening shall be required along the western property line.

c. Off-street loading areas are not required. However, if off-street loading area is provided it must be located at the rear or the side of a building and are not required to be screened from adjacent single-family residential use.

Note: Customer pickup is not considered off-street loading for the purposes of this sub-paragraph.

d. "Strip-type" commercial development is permitted as generally shown on the Site Plan.

e. Screening is not required for transformers, utility meters, and other machinery.

f. The City of Lucas wastewater lift station providing service to the Property shall be screened with wrought-iron fencing.

g. Transformers, lift stations, utility meters, and other machinery are not required to be located at the rear property line, drive, or alley.

h. Storefronts or faces of buildings shall provide architectural elements in order to achieve varying façade geometry and articulation.

i. Direct light sources shall not produce glare at the property line but may be visible at the property line at ground level or above, but must be contained to the target area.

j. Bays for automobile repair uses may not face a public thoroughfare.

k. Outdoor storage, display and use Only permitted by right in areas clouded and labeled on the proposed site plan for outdoor storage, all other outdoor storage, display and use by SUP only.

l. 8-foot above grade masonry screening wall required on lot 14 western lot line.

E. Major Development Standards.

Except as provided herein, the major development standards in section 14.03.355 of the Zoning Ordinance shall apply.

1. The maximum height of any wall is not limited by proximity to a residential zoning district.
2. No landscape area, including a landscaped street or landscaped pedestrian way, or other appropriate landscape or hardscape features is required to separate lots from each other.
3. Parking is not required to be divided into multiple lots and may contain more than 120 parking spaces. No maximum number of total off-street parking serving development on the Property.
4. Minimum parking space dimensions shall be nine feet (9') wide and eighteen feet (18') in length.
5. A covered passenger loading area is not required except for a medical minor emergency clinic.
6. No elevation or change in materials is required to differentiate pedestrian walkways from driving surfaces, except for pedestrian walkways contiguous with buildings.
7. No reader boards having changeable copy, electronic or otherwise, are allowed except for any signs related to a refueling station or a convenience store with refueling station.
 - a. Reader boards related to a refueling station having a changeable copy, electronic, or otherwise may be located on a:
 - i. Monument sign;
 - ii. Canopy sign; or
 - iii. Any other sign permitted by these standards or the Code to display fuel pricing.
8. No bus pullout or shelter is required to be developed on-site or off-site in relation to the Property.

F. Site plan, landscape plan, and building design.

1. Site plans and amendments to the Site Plan that conform to the requirements of this planned development shall be reviewed by Planning and Zoning Commission but do not require public hearings. Non-conforming site plans and amendments to non-conforming site plans require review and approval by the Planning and Zoning Commission after a public hearing. Amendments to the Site Plan may not increase maximum height or density, decrease maximum impervious coverage, or decrease minimum setbacks.
2. Landscape plans and amendments to landscape plans that conform to the requirements of this planned development shall be reviewed by the Planning and Zoning Commission but do not require a public hearing. Non-conforming landscape plans and amendments to non-conforming landscape plans require review and approval by the Planning and Zoning Commission after a public hearing. Minor amendments to the approved landscape plan may be approved administratively by the DRC.
3. Building design and materials.
 - a. Lot 4, 8, 9, 10, and 17.
 - i. Building design, materials, and appearance for lots 4, 8, 9, 10, and 17 shall be provided in accordance with the Retail Design Package (Exhibit D).
 - b. All other lots shall provide building design, materials, and appearance generally consistent with the Materials Board (Exhibit E).
4. Development of the Property shall be consistent with the Site Plan.

Section 3. To the extent of any irreconcilable conflict with the provisions of this ordinance and other ordinances of the City of Lucas governing the use and development of the Property and which are not expressly amended by this ordinance, the provisions of this ordinance shall be controlling.

Section 4. That all ordinances of the City of Lucas in conflict with the provisions of this Ordinance shall be, and same are hereby, repealed, provided, however, that all other provisions of said Ordinances are not in conflict herewith shall remain in full force and effect.

Section 5. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance or of the City of Lucas Code of Ordinances, as amended hereby, be adjudged or held to be voided or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinances or the City of Lucas Code of Ordinances, as amended hereby, which shall remain in full force and effect.

Section 6. An offense committed before the effective date of the Ordinance is governed by prior law and the provisions of the City of Lucas Code of Ordinances in effect when the offense was committed and the former law is continued in effect for this purpose.

Section 7. That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances, as amended, and upon conviction in the municipal court shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

Section 8. That this Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Lucas, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF LUCAS, COLLIN COUNTY, TEXAS, ON THIS _____ DAY OF _____, 2025.

APPROVED:

Dusty Kuykendall, Mayor

APPROVED AS TO FORM:

ATTEST:

Joseph J. Gorfida, Jr.
(12-17-24;cgm)

Toshia Kimball, City Secretary

EXHIBIT "A"
Property Description

BEING a tract of land situated in the James Anderson Survey, Abstract No. 17, Collin County, Texas and being part of a called 367.347 acre tract of land described in Special Warranty Deed to JCBR HOLDINGS, LLC, recorded in Instrument No. 0110222000191070, Official Public Records, Collin County, Texas, and being part of a called 2.00 acre tract of and described in General Warranty Deed to JCBR Holdings LLC, recorded in Instrument No. 20150302000222420 of said Official Public Records, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "PJB SURVEYING" found at the southwest end of a corner clip at the intersection of the north right-of-way line of Parker Road (also known as F.M. No. 2514, a variable width right-of-way) and the west right-of-way line of Southview Drive (also known as F.M. Road 1378, a variable width right-of-way), said point also being a southeast corner of said 367.347 acre tract;

THENCE with said north right-of-way line of Parker Road, the following courses and distances:

North 89°48'38" West, a distance of 801.93 feet to a 5/8-inch iron rod found for corner;
South 88°25'33" West, a distance of 194.94 feet to a 5/8-inch iron rod found for corner;
North 89°51'51" West, a distance of 305.21 feet to a 5/8-inch iron rod found for corner;
North 86°12'54" West, a distance of 267.11 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right with a radius of 1,828.00 feet, a central angle of 10°48'32", and a chord bearing and distance of North 84°27'35" West, 344.34 feet;
In a westerly direction, with said non-tangent curve to the right, an arc distance of 344.85 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 72°59'38" West, a distance of 74.76 feet to a point for corner in said north right-of-way line of Parker Road;

THENCE departing said north right-of-way line of Parker Road, with the east line of Enchanted Creek Phase IB, an addition to the City of Lucas, according to the plat recorded in Instrument No. 20150612010002100 of said Official Public Records, the following courses and distances:

North 58°50'27" East, a distance of 26.36 feet to a point for corner;
North 04°32'46" East, a distance of 83.77 feet to a point for corner;
North 08°18'33" West, a distance of 429.94 feet to a point for corner;
North 03°05'56" West, a distance 163.45 feet to a point for corner;

THENCE departing said east line of Enchanted Creek Phase IB, over and across said 367.347 acre tract and said 2.00 acre tract, the following courses and distances:

North 90°00'00" East, a distance of 1,432.12 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;

North 00°00'00" East, a distance of 411.43 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 90°00'00" East, a distance of 211.22 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner in the west line of said 2.00 acre tract;
North 00°00'00" East, a distance of 105.30 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
North 90°00'00" East, a distance of 384.54 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner at the beginning of a non-tangent curve to the right with a radius of 528.00 feet, a central angle of 16°58'52", and a chord bearing and distance of South 10°26'40" East, 155.91 feet, in said west right-of-way line of Southview Drive;

THENCE with said west right-of-way line of Southview Drive, the following courses and distances:

In a southerly direction, with said non-tangent curve to the right, an arc distance of 156.49 feet to a point for corner;
South 02°01'58" East, a distance of 658.47 feet to a point for corner;
South 00°36'17" East, a distance of 414.51 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;
South 89°36'14" West, a distance of 28.52 feet to a 5/8-inch iron rod with plastic cap stamped "PBJ SURVEYING" found for corner;
South 00°23'46" East, a distance of 16.38 feet a 1/2-inch iron rod with plastic cap stamped "PJB SURVEYING" found for the northeast end of said corner clip;

THENCE with said corner clip, South 45°06'51" West, a distance of 43.68 feet to the **POINT OF BEGINNING** and containing 1,829,317 square feet or 41.9954 acres of land.

The basis of bearings is based on State Plane Coordinate System, Texas North Central Zone 4204, North American datum of 1982 (2011).

EXHIBIT “B”
Property Depiction

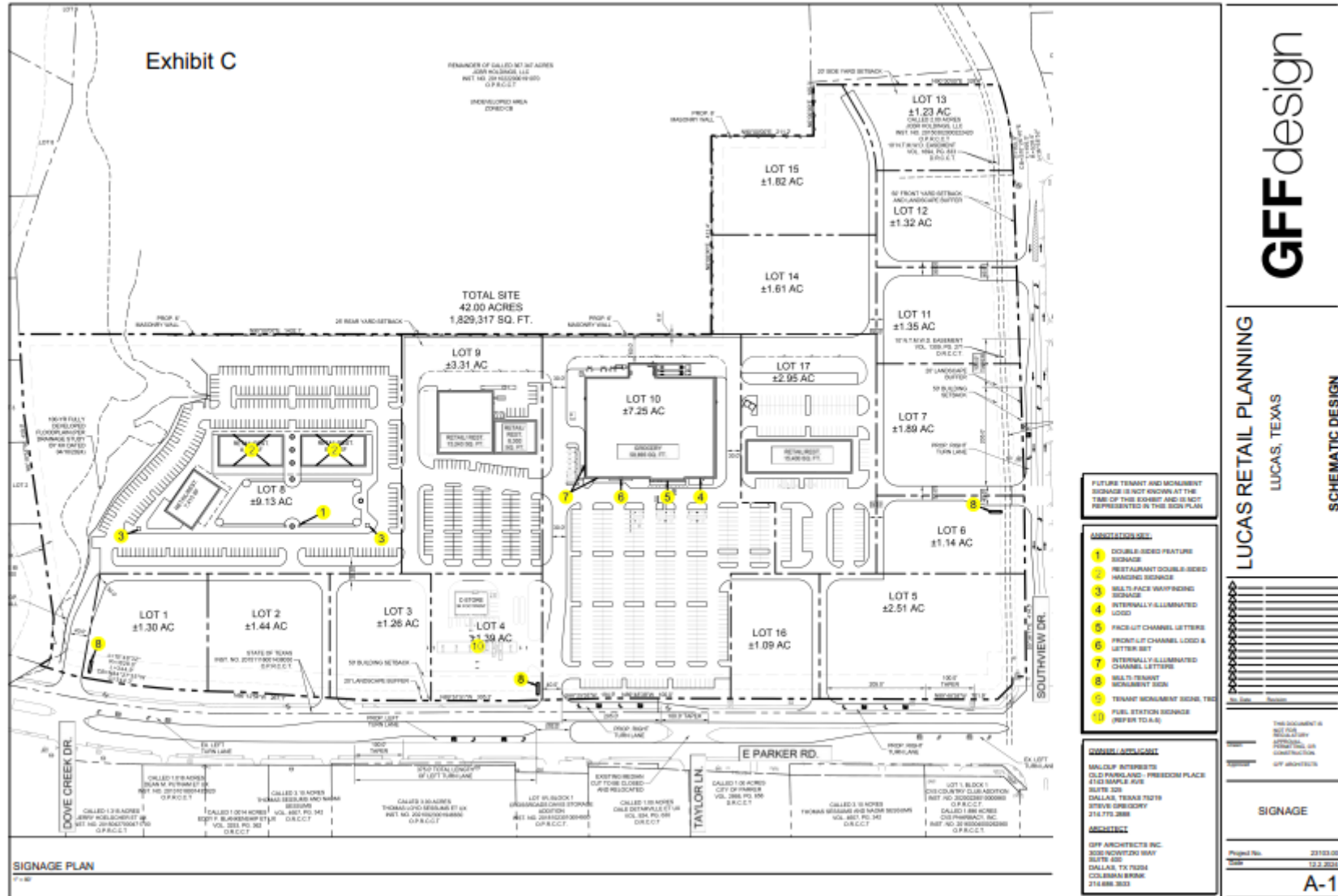


Exhibit "B"
City of Lucas
Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
Approved: January 2, 2025

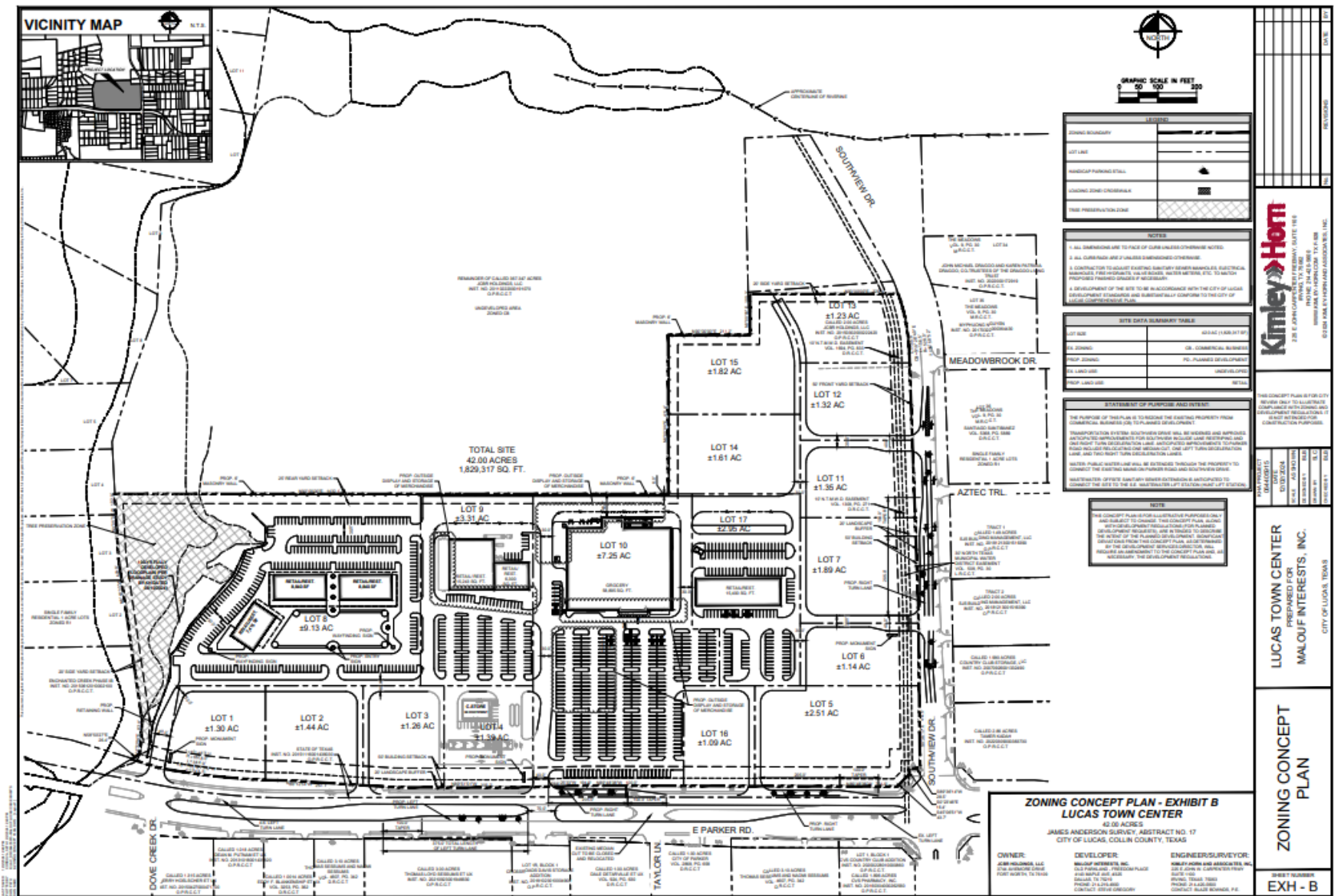


Exhibit "B"
City of Lucas
Ordinance # 2025-01-01011 (Change in Zoning - ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
Approved: January 2, 2025

EXHIBIT "C" Sign Elevations



3 MULTI-FACE WAYFINDING SIGNAGE - LOT 8
10'2" x 1'10"



2 RESTAURANT DOUBLE-SIDED HANGING SIGNAGE - LOT 8
10'2" x 1'10"



1 DOUBLE-SIDED FEATURE SIGNAGE - LOT 8
10'2" x 1'10"



Search - One week until Christmas

GFFdesign

LUCAS RETAIL PLANNING
LUCAS, TEXAS

SCHEMATIC DESIGN

OWNER / APPLICANT
MALOUF INTERESTS
OLD PARKLAND - FREEDOM PLACE
4143 MARPLE AVE.
SUITE 325
DALLAS, TEXAS 75219
STEVE GREGORY
214.775.2888

ARCHITECT
GFF ARCHITECTS INC.
3033 NOWITZKY WAY
SUITE 400
DALLAS, TX 75204
COLEMAN GROMK
214.686.3533

THIS DOCUMENT IS
NOT FOR
REGULATORY
APPROVAL
PERMITTING OR
CONSTRUCTION

Project No. 23103-00
Date 12.2.2024

A-2



A wooden signpost with a dark grey sign that reads "LUCAS" in white capital letters. The signpost has two vertical wooden posts and a horizontal crossbar.

CHURCHILLS

CHURCHILLS

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A-2

SCHEMATIC DESIGN

Approved: January 2, 2025

EXHIBIT “D”
Retail Design Package



GFFdesign



Site at 10/11/2024 Site Plan Preparation, Approval, Permitting, & Construction Road/Highway Work Public Works Range Road Planning & Construction

Exhibit “D”
City of Lucas
Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
Approved: January 2, 2025



GFFdesign



July 6, 2025 Not For Regulatory Approval, Permitting, or Construction Retail/Restaurant Dallas, Texas Single Retail Planning 1/1 June 18, 2025 1/1 Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



Job #: 22156 Not For Regulatory Approval/Permitting or Construction Permit/Permitted Dallas, Texas Single-Family Planning / June 18, 2024 / Schematic Design

Exhibit "D"

City of Lucas

Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)

Approved: January 2, 2025



GFFdesign



Job #: 22756 Not For Regulatory Approval, Permitting, or Construction Retail/Restaurant Dallas, Texas Sanger Retail Planning / June 19, 2023 / Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



July 9, 2025 Not For Regulatory Approval, Permitting, or Construction Final/Revised Lucas, Texas Single Point Planning // June 18, 2025 // Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



Job #: 22785 Not For Regulatory Approval, Permitting, or Construction Plans/Revisions Dates, Times Single Retail Planning 17 June 18 2025 17 Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



Job #: 22186 | Not For Regulatory Approval, Permitting, or Construction | Preliminary | Lucas, Texas | Sanger Retail Planning | June 18, 2024 | Schematic Design

Exhibit "D"

City of Lucas

Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)

Approved: January 2, 2025



GFFdesign



Job #: 22186 Not For Regulatory Approval, Permitting, or Construction Retail/Restaurant Dallas, Texas Sanger Retail Planning / June 18, 2025 / Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



Job #: 22186 | Not For Regulatory Approval/Permitting or Construction | Paved/Reasphalt | Dallas, Texas | Larger Retail Planning | June 18, 2024 | Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



Job #: 225-011 Not For Regulatory Approval, Permitting, or Construction Retail/Restaurant Dallas, Texas Single Retail Planning 11 June 18, 2025 11 Submittal Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



Lot 17

GFFdesign



July 9, 2025 | Not For Regulatory Approval, Permitting, or Construction | Period: Permanent | Dallas, Texas | Sanger Retail Planning | June 18, 2025 | Schematic Design

Exhibit "D"
 City of Lucas
 Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
 Approved: January 2, 2025



GFFdesign



July 16, 2025 | Not For Regulatory Approval, Permitting, or Construction | Perish/Perishment | Dallas, Texas | Sanger Retail Planning | June 18, 2025 | Schematic Design

Exhibit "D"

City of Lucas

Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)

Approved: January 2, 2025

EXHIBIT “E” Materials Board



COMPOSITE WOOD PLANK - SOFFIT



BRICK BLEND - RUNNING BOND



PAINTED CMU - MULTIPLE NEUTRAL COLORS



CORRUGATED METAL ROOF AND WALL PANEL



CLEAR ANODIZED ALUMINUM STOREFRONT



COMPOSITE WOOD PLANK - WALL SIDING



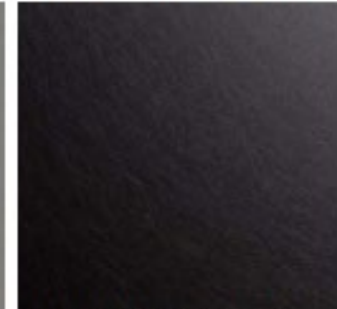
WHITE BRICK - RUNNING BOND



CHARCOAL GRAY PAINT



STANDING SEAM METAL PANEL - SLATE GRAY

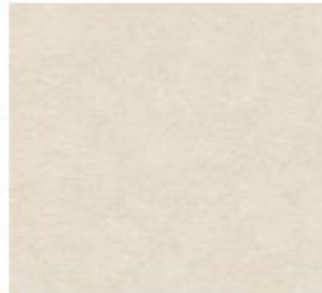


BLACK ANODIZED ALUMINUM STOREFRONT

Exhibit C



WOOD-LOOK METAL PANEL TO MATCH WALL SIDING



WHITE STUCCO - SHERWIN WILLIAMS 7008 ALABASTER



CHARCOAL STUCCO - SHERWIN WILLIAMS 7009 GAUNTLET GRAY



HONED NATURAL LIMESTONE VENEER

GFFdesign
4908-4936-1927, v. 2



Job #: 22022 Not For Regulatory Approval, Permitting or Construction Field/Manufacturer Dallas, Texas Lucas Pirelli - 17 December 2, 2024 - 17 Schematic Design

MATERIALS

Exhibit “E”
City of Lucas
Ordinance # 2025-01-01011 (Change in Zoning – ±41.9954 acre Hunt Tract located at northwest corner of Parker Road and County Club Road)
Approved: January 2, 2025



City of Lucas

City Council Agenda Request

January 2, 2025

Item No. 05

Requester: City Council

Agenda Item Request

Conduct candidate interviews and consider an appointment to fill the vacant position as Alternate Member 2 on the Parks and Open Space Board.

Background Information

There is currently a vacancy for the Alternate Member 2 position (term expired December 31, 2024) on the Parks and Open Space Board.

- On September 21, 2023, City Council appointed Lynne Dodson as Alternate Member 2. Lynne resigned from the Parks and Open Space Board on August 26, 2024.

City Council has provided staff with recommendations for candidates to interview at the City Council meeting on January 2, 2025.

Attachments/Supporting Documentation

1. Candidate applications will be sent to City Council as a separate attachment.

Budget/Financial Impact

NA

Recommendation

NA

Motion

I make a motion to approve/deny appointing _____ as Alternate Member 2 to the Parks and Open Space Board with a term expiring on December 31, 2026.



City of Lucas

City Council Agenda Request

January 2, 2025

Item No. 6

Requester: Development Services Director Joseph Hilbourn

Agenda Item Request

Consider amending FY 24-25 budget by appropriating \$110,000 from the Water Fund Reserves to account 21-8210-490-130 and authorize the City Manager to negotiate and enter into an agreement with Axis Construction, LP to replace the stem in the McGarity Elevated Tank.

Background Information

The McGarity Elevated Tank stem has developed a leak. 75% +/- of the stem was replaced in the 2021/2022 fiscal year. The entire stem was contracted for replacement; the contractor selected could not complete the project. During the strategic planning walkthrough of the McGarity tower on December 1, 2024, there was a leak in the stem; since that point 19 days later, on December 19, 2024, the leak is now three leaks. Due to the nature of the leak, this is considered an emergency repair. Staff recommends replacing the ductile iron stem with stainless steel to prevent future problems. The timing of the project is critical because the city will need to notify the public to conserve water during the stem replacement, and it is necessary to perform the work during a time of low water consumption. We need to complete this project as soon as possible. Staff has received an estimate to replace the stem with stainless steel piping and an addition of a mixer to keep the water chlorine residuals consistent. The estimate came in at \$97,380, staff is asking for a contingency of \$12,720 for a total of \$110,000.

Attachments/Supporting Documentation

1. Cost proposals to repair the McGarity Tank Stem
2. Water Fund Reserve Schedule
3. McGarity Stem Replacement Project Reconciliation

Budget/Financial Impact

The estimated proposal from Axis Construction, LP is \$110,000 to be funded from the Water Fund Reserves.

Recommendation

Staff recommends amending the FY 24/25 budget by appropriating \$110,000 from the unrestricted water fund reserve to account 21-8210-490-130 McGarity Stem Replacement to address outstanding water concerns at McGarity Elevated Tank.



City of Lucas

City Council Agenda Request

January 2, 2025

Item No. 6

Motion

I make a motion to approve/deny amending FY 24/25 budget by appropriating \$110,000 from the unrestricted water fund reserves to account 21-8210-490-130 and authorize the City Manager to negotiate and enter into an agreement with Axis Construction, LP to replace the stem in the McGarity Elevated Tank.

Axis Construction, L.P.
P.O. Box 77916
Fort Worth, Texas 76177
ACLP #24239

December 20, 2024

PROPOSAL

City of Lucas
665 Country Club Road
Lucas, Texas 75002

Attn: Jeremy Bogle— Public Works Supervisor

Re: Remove and Replace 16" Riser Pipe in 300,000 Gallon McGarity Water Spheroid

As requested, I am providing a Proposal to furnish all Labor, Equipment and Material required to remove and replace the existing 16" Riser Pipe in the 300,000 Gallon EST. Please note the following details that were derived as a result of my site visit on 12/17/24:

1. Tank was built by CB&I in 2004 & we understand that a portion of the riser pipe & expansion joint assembly was replaced approximately 3 years ago in December of 2021.
2. The tank has a 16" dia. painted carbon steel riser that has 3 visible leaks approx. 45' to 60' above grade.
3. We will remove & replace the Riser Pipe from just below the fabricated bend at the bottom of the tank bowl down to the top of the expansion joint approximately 3'-9" above the concrete floor. A new 16" 150# Carbon Steel flange will be installed by welding at the top of the riser pipe just below the fabricated bend at the tank bowl. The new flange will be cleaned and painted with 2 coats of Tnemec Series 141-NSF 61 Epoxy after welding.
4. We will remove the existing carbon steel riser and replace it with a 16" dia. grade 304 Stainless Steel Sch. 10s pipe that has a 304 Stainless Steel flange at the top and a new Smith Blair epoxy coated Fig. 913 Flange Coupling Adaptor above the Expansion Joint flange. There will be approximately 111'-3" of new pipe per the drawings by CB&I. Supports will be removed and replaced as required to facilitate the installation effort.
5. We will prefabricate the new Stainless Steel riser pipe sections with stainless steel van stone flanges and galvanized backing rings in our shop and then deliver to the site for installation. The lower section of riser pipe will have 2- 3/4" threaded SS couplings located approximately 5' above the concrete floor. New bolt and gasket sets will be provided.
6. We have also included replacement of the Final Drain valve & fittings in the bottom of the tank bowl.
7. Washing and disinfection of the tank is included in the scope of work.
8. We will furnish and install a new Kasco 2400C61050-SM50-CS15 Tank Mixer with a 3 yr warranty during the riser replacement work. Please see attached literature.

TOTAL COST for the Work Noted Above = \$97,380.00

Notes:

1. Work will be started within 3-4 weeks after receipt of either a P.O. or a "Notice-to-Proceed". The delay in installation will be for material procurement, shop fabrication and is also based on our current work load.
2. Work on the site will take approximately 3-1/2 days to complete including riser removal and replacement.
3. Axis will remove all of the scrap riser piping from the site and dispose of at a legal steel recycling facility.

4. Payment terms are Net 30 on completion.
5. Due to the volatility of stainless steel, this proposal is firm for 15 days.
6. A 2nd Mixer can be added to your other EST for an additional cost of \$28,400.00.

If you have any questions on the above information, please contact me at 817-439-0709. We look forward to an opportunity to work for you on this project.

Joe Swinnea

Attachment

City of Lucas
Water Fund Reserves by Fiscal Year

	Actual 2015-2016	Actual 2016-2017	Actual 2017-2018	Actual 2018-2019	Actual 2019-2020	Actual 2020-2021	Actual 2021-2022	Actual 2022-2023	Actual 2023-2024	Projected 2024-2025
Unrestricted Cash Balance per Audit Report	\$ 5,579,746	\$ 5,548,487	\$ 5,996,412	\$ 6,215,622	\$ 6,945,017	\$ 7,276,317	\$ 8,106,958	\$ 9,707,570	\$ 11,466,284	\$ 11,466,284
Adjusted For:										
Projected Excess Fund Balance FY 23-24										
Projected Excess Fund Balance FY 24-25										\$ 751,466
Additional Restrictions:										
CC 10-19-23 Reserve Restriction for Water Tower Project (FY 22-23)								\$ (510,632)		
CC 10-17-24 SPI 12 Inch Water Line Design										\$ (9,500)
CC 10-17-24 SPI 8 Inch Water Line Design										\$ (32,000)
CC 10-17-24 AMI Meter Upgrade										\$ (695,194)
CC 11-7-24 McGarity Pump Station Tank Repaint JTG										\$ (58,960)
Customer Deposits	\$ (239,250)	\$ (245,600)	\$ (247,600)	\$ (256,220)						
Reserve Balance Prior to GASB 54 Requirement	\$ 5,340,496	\$ 5,302,887	\$ 5,748,812	\$ 5,959,402	\$ 6,945,017	\$ 7,276,317	\$ 8,106,958	\$ 9,196,938	\$ 11,466,284	\$ 11,422,096
Reserve Balance in Operating Months	19	16	18	18	20	21	20	19	22	22
50% Current Year Water Fund Expenditures (6 months)	\$ (1,656,470)	\$ (1,897,744)	\$ (1,949,722)	\$ (1,983,894)	\$ (2,081,761)	\$ (2,127,754)	\$ (2,416,524)	\$ (2,861,705)	\$ (3,117,600)	\$ (3,162,057)
Reserve Balance After GASB 54 Requirement	\$ 3,684,026	\$ 3,405,143	\$ 3,799,090	\$ 3,975,508	\$ 4,863,256	\$ 5,148,563	\$ 5,690,434	\$ 6,335,233	\$ 8,348,684	\$ 8,260,039
Reserve Balance in Operating Months	13	10	12	12	14	15	14	13	16	16
Restricted during Fiscal Year Audit:										
Capital Project Funding approved (3-2-17)/(51-1007-50/3105)			\$ 120,979	\$ 120,979	\$ 120,979	\$ 120,979	\$ 120,979	\$ 120,979	\$ 120,979	\$ -
Eight Inch Force Main(51-1007-64/51-3106-64)								\$ 41,450		
Reserve Funding Bait Shop Water Line(51-1007-75/51-3106-75)						\$ 31,118				
Impact Fees (Lakeview Downs) (51-1001-75)/(51-3106-10)					\$ 27,500	\$ 33,000	\$ 11,000	\$ 22,000	\$ 11,000	\$ -
Restricted Osage Lane Lift Station Funding (51-1001-76/51-3106-76)									\$ 214,611	
Impact Fees (Capital Projects) (51-1001)/(51-3106-15)						\$ 352,448	\$ 447,709	\$ 618,050	\$ 688,064	\$ -
Debt Service (51-1007-40)/(51-1008)/(51-3106)	\$ 375,000	\$ 425,000	\$ 435,000	\$ 477,800	\$ 515,000	\$ 495,000	\$ 410,000	\$ 415,000	\$ 430,000	\$ 430,000
Impact Fee Study (51-1007-70/51-3106-70)							\$ 23,040			
Project Mgmt (51-1007-70)				\$ 69,945	\$ 17,486					
Bait Shop Waterline Restricted (51-1007-75/51-3106-75)							\$ 1,148,202			
Water Operations Restricted (51-1007-60/51-3106-60)							\$ 35,826	\$ 53,157	\$ 31,480	
Customer Deposits (51-1012)/(51-3106-20)					\$ 258,400	\$ 278,625	\$ 287,600	\$ 295,600	\$ 294,625	\$ 295,600
Reserve Restricted per Audit Report	\$ 375,000	\$ 425,000	\$ 555,979	\$ 668,724	\$ 939,365	\$ 1,311,170	\$ 2,484,356	\$ 1,524,786	\$ 1,832,209	\$ 725,600

City of Lucas**Capital Project - MCGARITY STEM PROJECT (21-8210-490-130)****Complete 3-31-22**

Interstate Contracting & Coating, Inc.	\$ 47,750.00
Contingency	\$ 9,550.00
Total Approved Budget Amount	<u>\$ 57,300.00</u>

Payments:

	FY 21-22		TOTAL	
Interstate Contracting & Coating, Inc.	\$	38,639.33	\$	38,639.33
Axis Construction	\$	1,430.00	\$	1,430.00
Total Payments	\$	40,069.33	\$	40,069.33

Encumbered:

Interstate Contracting & Coating, Inc.	\$ -
Axis Construction (Inspection)	\$ -
Total Outstanding Encumbered	<u>\$ -</u>

Total Budget	\$ 57,300.00
Minus Payments	\$ (40,069.33)
Minus Encumbered Balance	\$ -
Total Under/(Over) Budget	<u>\$ 17,230.67</u>

Contingency:	\$ 9,550.00
Axis Construction (Inspection)	\$ (1,430.00)
	<u>\$ 8,120.00</u>

Overage from budget	\$ 9,110.67
Total	<u>\$ 17,230.67</u>



Item No. 07

City of Lucas

City Council Agenda Request

January 2, 2025

Requestor: Mayor Dusty Kuykendall

Agenda Item Request

Executive Session: An Executive Session is not scheduled for this meeting.

As authorized by Section 551.071 of the Texas Government Code, the City Council may convene into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney regarding any item on the agenda at any time during the meeting. This meeting is closed to the public as provided in the Texas Government Code.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA



City of Lucas

City Council Agenda Request

January 2, 2025

Item No. 08

Requester: City Council

Agenda Item Request

Reconvene from Executive Session and take any action necessary as a result of the Executive Session.

Background Information

NA

Attachments/Supporting Documentation

NA

Budget/Financial Impact

NA

Recommendation

NA

Motion

NA